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State of Oklahoma  
County of Oklahoma  
Oklahoma County Clerk  
David B. Hooten

**SECOND AMENDMENT AND ANNEXATION TO THE  
AMENDED AND FULLY RESTATED DECLARATION OF COVENANTS  
AND RESTRICTIONS OF THE GROVE ADDITION IN THE CITY OF  
OKLAHOMA CITY, OKLAHOMA COUNTY, STATE OF OKLAHOMA**

This **SECOND AMENDMENT AND ANNEXATION TO THE AMENDED AND FULLY RESTATED DECLARATION OF COVENANTS AND RESTRICTIONS OF THE GROVE ADDITION IN THE CITY OF OKLAHOMA CITY, OKLAHOMA COUNTY, STATE OF OKLAHOMA** (“**Second Amendment**”) is being made effective as of August 26, 2019 by CALIBER DEVELOPMENT COMPANY LLC, a Delaware limited liability company (“**Declarant**”). Declarant hereby amends and annexes additional property to that certain Amended and Fully Restated Declaration of Covenants and Restrictions of the Grove Addition in the City of Oklahoma City, Oklahoma County, State of Oklahoma dated August 23, 2016 and filed on August 29, 2016 in Book RE13214, Page 959, *et. seq.*, in the office of the County Clerk of Oklahoma County, State of Oklahoma (“**Amended and Restated Declaration**”), as amended by that certain First Amendment and Annexation to the Amended and Fully Restated Declaration of Covenants and Restrictions of The Grove Addition filed January 17, 2017, and recorded in Book RE13335, Page 836, *et. seq.*, in the office of the County Clerk of Oklahoma County, State of Oklahoma (the “**First Amendment**”). The Amended and Restated Declaration and the First Amendment are hereinafter collectively referred to as the “**Amended and Restated Declaration**”. The Amended and Restated Declaration covers the real property and improvements having the complete legal descriptions as are set forth on **Exhibits A-1 through A-14**, all of which are attached to this Second Amendment and by this reference made an integral part hereof. All capitalized terms used herein that are not otherwise defined herein shall have the same meanings given to them in the Amended and Restated Declaration. Pursuant to the provisions of Article X and Section 11.03 of the Amended and Restated Declaration, Declarant hereby amends certain provisions of the Amended and Restated Declaration and annexes by means of this Second Amendment the additional real property and improvements having the complete legal descriptions set forth on **Exhibits A-15 through A-17**, respectively, which are attached hereto, as referenced below, and thereby making such additional real property and improvements fully subject to the term, covenants and restrictions imposed by the Amended and Restated Declaration.

Accordingly, Declarant declares that the real property described on **Exhibits A-15, A-16 and A-17** are hereby annexed to the Amended and Restated Declaration, for all purposes, as described below in Sections 1-3 of this Second Amendment, namely:

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1. **The Grove, Phase XI:** The real property described on **Exhibit A-15**, which is attached to this Second Amendment and by this reference thereto made an integral part hereof for all purposes, together with all of the common areas described in the Final Plat of The Grove, Phase XI, having the complete legal description set forth on the said **Exhibit A-15** (the “**Grove Phase XI Plat**”) together with all improvements thereon, is hereby annexed as additional property to the Amended and Restated Declaration and made fully subject to all of the covenants, restrictions and provisions thereof.

2. **The Grove, Phase XII:** The real property described on **Exhibit A-16**, which is attached to this Second Amendment and by this reference thereto made an integral part hereof for all purposes, together with all of the common areas described in the Final Plat of The Grove, Phase XII, having the complete legal description set forth on the said **Exhibit A-16** (the “**Grove Phase XII Plat**”) together with all improvements thereon, is hereby annexed as additional property to the Amended and Restated Declaration and made fully subject to all of the covenants, restrictions and provisions thereof.

3. **The Grove, Phase XIII:** The real property described on **Exhibit A-17**, which is attached to this Second Amendment and by this reference thereto made an integral part hereof for all purposes, together with all of the common areas described in the Final Plat of The Grove, Phase XIII, having the complete legal description set forth on the said **Exhibit A-17** (the “**Grove Phase XIII Plat**”) together with all improvements thereon, is hereby annexed as additional property to the Amended and Restated Declaration and made fully subject to all of the covenants, restrictions and provisions thereof.

4. Section 1.14 of the Amended and Restated Declaration is hereby deleted in its entirety and the following completely amended and restated Section 1.14 is fully substituted in its place and stead in the Amended and Restated Declaration:

Section 1.14 “Lot” shall mean any one of the parcels of real property designated as a Lot in the recorded Grove Addition Plats within The Grove, and shall not include the Common Areas. The ownership of each Lot shall include with it and have appurtenant a non-exclusive easement for the use and enjoyment of the Common Areas. A Lot shall be deemed “Improved” when a Single Family Residence or other substantial improvement has been completely constructed thereon. All other Lots shall be deemed “Unimproved” Lots. Pursuant to Article X of this Amended and Restated Declaration, subsequently annexed Lots shall be treated in all respects as Lots under this Amended and Restated Declaration. For purposes of The Amended and Fully Restated Architectural and Design Rules Adopted by the Design Rule Committee of the Grove Addition (attached as Exhibit B to the Amended and Restated Declaration) and the restrictions applicable to each Lot and for any other purpose, Lots may be further designated into subcategories such as “Bloom’s Terrace Lots”, “The Meadows Lots”, “The Old Stone Lots”, “The Orchard Lots”, “The Pinehurst Lots”, and “Whispering Willows Lots”.

- (a) The Grove, Phase I; Block One (1) Lots One (1) through Fifty-six (56), inclusive; and

The Grove, Phase I; Block Two (2) Lots One (1) through Twenty (20), inclusive;  
and

The Grove, Phase I; Block Three (3) Lots One (1) through Twenty (20), inclusive;  
and

The Grove, Phase I; Block Four (4) Lots One (1) through Twelve (12), inclusive;  
and

The Grove, Phase I; Block Five (5) Lots One (1) through Eight (8), inclusive; and

The Grove, Phase I; Block Six (6) Lots One (1) through Two (2), inclusive.

The above-listed Lots under this subsection (a) are designated as *Bloom's Terrace Lots*.

- (b) The Grove, Phase II; Block One (1) Lots One (1) through Twenty-six (26), inclusive; and

The Grove, Phase II; Block Two (2) Lots One (1) through Eleven (11), inclusive;  
and

The Grove, Phase II; Block Three (3) Lots One (1) through Seven (7), inclusive;  
and

The Grove, Phase II; Block Four (4) Lots One (1) through Fifty-three (53), inclusive; and

The Grove, Phase II; Block Five (5) Lots One (1) through Eight (8), inclusive;  
and

The Grove, Phase II; Block Six (6) Lots One (1) through Eight (8), inclusive.

All of the above-listed Lots under this subsection (b) are designated as *The Orchard Lots*.

- (c) The Grove, Phase III; Block Seven (7) Lots One (1) through Twenty-three (23), inclusive; and

The Grove, Phase III; Block Eight (8) Lots One (1) through Thirty-one (31), inclusive.

The above-listed Lots under this subsection (c) are designated as *Bloom's Terrace Lots*.

- (d) The Grove, Phase IV; Block Nine (9) Lots One (1) through Forty-Three (43), inclusive; and

The Grove, Phase IV; Block Ten (10) Lots One (1) through Twenty-Nine (29), inclusive.

The above-listed Lots under this subsection (d) are designated as *The Orchard Lots*.

- (e) The Grove, Phase V; Block Eleven (11) Lots One (1) through Eight (8), inclusive; and

The Grove, Phase V; Block Twelve (12) Lots One (1) through Thirty (30), inclusive.

The above-listed Lots under this subsection (e) are designated as *The Old Stone Lots*.

- (f) The Grove, Phase VI; Block Thirteen (13) Lots One (1) through Seven (7), inclusive; and

The Grove, Phase VI; Block Fourteen (14) Lots One (1) through Twenty-four (24), inclusive; and

The Grove, Phase VI; Block Fifteen (15) Lots One (1) through Four (4), inclusive; and

The Grove, Phase VI; Block Sixteen (16) Lots One (1) through Twenty-seven (27), inclusive; and

The Grove, Phase VI; Block Seventeen (17) Lot One (1); and

The Grove, Phase VI; Block Eighteen (18) Lots One (1) through Eight (8), inclusive; and

The Grove, Phase VI; Block Nineteen (19) Lots One (1) through Fifteen (15), inclusive; and

The Grove, Phase VI; Block Twenty (20) Lots One (1) through Fourteen (14), inclusive.

The above-listed Lots under this subsection (f) are designated as *Bloom's Terrace Lots*.

- (g) The Grove, Phase VII; Block Twenty-one (21) Lots One (1) through Fifty (50), inclusive; and

The Grove, Phase VII; Block Twenty-two (22) Lots One (1) through Six (6), inclusive.

The above-listed Lots under this subsection (g) are designated as *The Old Stone Lots*.

- (h) The Grove, Phase VIII; Block Twenty-three (23) Lots One (1) through Thirty-nine (39), inclusive; and

The Grove, Phase VIII; Block Twenty-four (24) Lots One (1) through Twenty (20), inclusive.

All of the above-listed Lots under this subsection (h) are designated as *The Orchard Lots*.

- (i) The Grove, Phase IX; Block Twenty-five (25) Lots One (1) through Fifteen (15), inclusive; and

The Grove, Phase IX; Block Twenty-six (26) Lots One (1) through Fourteen (14), inclusive; and

The Grove, Phase IX; Block Twenty-seven (27) Lots One (1) through Twenty-seven (27), inclusive; and

The Grove, Phase IX; Block Twenty-eight (28) Lots One (1) through Twenty-five (25), inclusive; and

The Grove, Phase IX; Block Twenty-nine (29) Lots One (1) through Twelve (12), inclusive; and

The Grove, Phase IX; Block Thirty (30) Lots One (1) through Four (4), inclusive; and

The Grove, Phase IX; Block Thirty-one (31) Lots One (1) through Five (5), inclusive; and

The Grove, Phase IX; Block Thirty-two (32) Lots One (1) through Seven (7), inclusive; and

The Grove, Phase IX; Block Thirty-three (33) Lots One (1) through Nine (9), inclusive; and

The Grove, Phase IX; Block Thirty-four (34) Lots One (1) and Two (2), inclusive.

All of the above-listed Lots under this subsection (i) are designated as *The Meadows Lots*.

- (j) The Grove, Phase X; Block Thirty-five (35) Lots One (1) through Six (6), inclusive; and

The Grove, Phase X; Block Thirty-six (36) Lots One (1) through Five (5), inclusive; and

The Grove, Phase X; Block Thirty-seven (37) Lots One (1) through Eleven (11), inclusive; and

The Grove, Phase X; Block Thirty-eight (38) Lots One (1) through Twenty-three (23), inclusive; and

The Grove, Phase X; Block Thirty-nine (39) Lots One (1) through Ten (10), inclusive; and

The Grove, Phase X; Block Forty (40) Lots One (1) through Six (6), inclusive; and

The Grove, Phase X; Block Forty-one (41) Lots One (1) through Eight (8), inclusive.

All of the Lots listed above under this subsection (j) are designated as *The Whispering Willows Lots*.

- (k) The Grove, Phase XI; Block Forty-two (42) Lots One (1) through Thirty-four (34), inclusive; and

The Grove, Phase XI; Block Forty-three (43) Lots One (1) through Twenty-four (24), inclusive; and

The Grove, Phase XI; Block Forty-four (44) Lots One (1) through Forty-five (45), inclusive; and

The Grove, Phase XI; Block Forty-five (45) Lot One (1); and

The Grove, Phase XI; Block Forty-six (46) Lot One (1); and

The Grove, Phase XI; Block Forty-seven (47) Lot One (1); and

The Grove, Phase XI; Block Forty-eight (48) Lot One (1); and

The Grove, Phase XI; Block Forty-nine (49) Lot One (1); and

The Grove, Phase XI; Block Fifty (50) Lot One (1).

All of the Lots listed above under this subsection 1.14(k) are designated as *The Meadows Lots*.

- (l) The Grove, Phase XII; Block Fifty-one (51) Lots One (1) through Five (5), inclusive; and

The Grove, Phase XII; Block Fifty-two (52) Lots One (1) through Sixteen (16), inclusive; and

The Grove, Phase XII; Block Fifty-three (53) Lots One (1) through Thirty (30), inclusive; and

The Grove, Phase XII; Block Fifty-four (54) Lots One (1) through Twenty-eight (28), inclusive; and

The Grove, Phase XII; Block Fifty-five (55) Lots One (1) through Six (6), inclusive; and

The Grove, Phase XII; Block Fifty-six (56) Lots One (1) through Three (3), inclusive.

All of the Lots listed above under this subsection 1.14(l) are designated as *The Pinehurst Lots*.

- (m) The Grove, Phase XIII; Block Fifty-seven (57) Lots One (1) through Seven (7), inclusive; and

The Grove, Phase XIII; Block Fifty-eight (58) Lots One (1) through Twenty (20), inclusive; and

The Grove, Phase XIII; Block Fifty-nine (59) Lots One (1) through Twelve (12), inclusive; and

The Grove, Phase XIII; Block Sixty (60) Lots One (1) through Nine (9), inclusive; and

The Grove, Phase XIII; Block Sixty-one (61) Lots One (1) through Twelve (12), inclusive; and

The Grove, Phase XIII; Block Sixty-two (62) Lot One (1); and

The Grove, Phase XIII; Block Sixty-three (63) Lots One (1) through Sixteen (16), inclusive; and

The Grove, Phase XIII; Block Sixty-four (64) Lots One (1) through Seven (7), inclusive; and

The Grove, Phase XIII; Block Sixty-five (65) Lot One (1); and

The Grove, Phase XIII; Block Sixty-six (66) Lot One (1).

All of the Lots listed above under this subsection 1.14(m) are designated as *The Pinehurst Lots*.

- (n) The Grove South, Phase 1; Block One (1) Lots One (1) through Ten (10), inclusive; and

The Grove South, Phase 1; Block Two (2) Lots One (1) through Thirteen (13), inclusive; and

The Grove South, Phase 1; Block Three (3) Lots One (1) through Twenty-eight (28), inclusive; and

The Grove South, Phase 1; Block Four (4) Lots One (1) through Fourteen (14), inclusive; and

The Grove South, Phase 1; Block Five (5) Lots One (1) through Eight (8), inclusive.

All of the above-listed Lots under this subsection (n) are designated as *The Meadows Lots*.

- (o) The Grove South, Phase 2; Block Six (6) Lots One (1) through Twenty (20), inclusive; and

The Grove South, Phase 2; Block Seven (7) Lots One (1) through Fourteen (14), inclusive; and

The Grove South, Phase 2; Block Eight (8) Lots One (1) through Eight (8), inclusive; and

The Grove South, Phase 2; Block Nine (9) Lots One (1) through Fifteen (15), inclusive.

All of the above-listed Lots under this subsection (o) are designated as *The Whispering Willows Lots*.

- (p) The Grove South, Phase 3; Block Ten (10) Lots One (1) through Seventeen (17); and

The Grove South, Phase 3; Block Eleven (11) Lots One (1) through Twenty-Eight (28), inclusive; and

The Grove South, Phase 3; Block Twelve (12) Lots One (1) through Twenty-four (24), inclusive; and

The Grove South, Phase 3; Block Thirteen (13) Lots One (1) through Twenty-seven (27), inclusive; and

The Grove South, Phase 3; Block Fourteen (14) Lots One (1) through Seven (7), inclusive.

All of the above-listed Lots under this subsection (p) are designated as *The Meadows Lots*.

- (q) The Grove South, Phase 4; Block Fifteen (15) Lots One (1) through Thirty (30), inclusive; and

The Grove South, Phase 4; Block Sixteen (16) Lots One (1) through Twenty-two (22), inclusive; and

The Grove South, Phase 4; Block Seventeen (17) Lots One (1) through Twelve (12), inclusive.

All of the above-listed Lots under this subsection (q) are designated as *The Whispering Willows Lots*.

5. Section 4.01a of the Amended and Restated Declaration is hereby deleted in its entirety and the following completely amended and fully restated Section 4.01a is hereby fully



substituted in its place and stead in the Amended and Restated Declaration by virtue of this Second Amendment to read henceforth as follows:

Section 4.01 Permitted Uses and Restrictions.

a. Single Family Residential Use. All of the Lots shall be used, improved, and devoted exclusively to Residential Use and recreational facilities incidental thereto. No gainful occupation, profession, trade, or other non-residential use shall be conducted on such Lots. Provided however, an Owner may conduct business within a structure if such business or occupation is not open to the public, is wholly contained within the structure, there are no employees other than the Owner working on the premises and such business or occupation does not become a nuisance to the neighborhood. No structure other than one Residence together with a private garage and such other structures as are contemplated herein shall be erected, placed, or permitted to remain on any Lot. Board of Directors shall be the sole arbiter of whether an activity shall be deemed a nuisance. Notwithstanding anything to the contrary in the above and foregoing Section 4.01a, with respect to the use of single family homes as daycare centers, Owners may operate a daycare center out of their Single Family home so long as the daycare center complies with the following requirements: (i) the daycare must be licensed with the Oklahoma Department of Human Services, (ii) a maximum of seven (7) kids shall be allowed in the daycare at one time, (iii) the daycare shall have no employees other than the Owner working on the premises, (iv) the daycare shall not be allowed to use the amenities or common areas of the neighborhood, and (v) parking vehicles and noise associated with the daycare shall not become a nuisance to the neighborhood.

6. Section 4.01y of the Amended and Restated Declaration is hereby deleted in its entirety and the following completely amended and fully restated Section 4.01y is hereby fully substituted in its place and stead in the Amended and Restated Declaration by virtue of this Second Amendment to read henceforth as follows:

y. Residential Lots; Copy of Leases. After the initial sale or transfer of a Lot or Lots by Declarant, all Lots, including all Residences thereon, shall thereafter be used and occupied only for single family residence purposes by the Owner, by the Owner's family, the Owner's guests, or the Owner's tenants, except as otherwise expressly provided in Section 4.01a, as fully amended and fully restated, above, in this Second Amendment, or as may hereafter be subsequently amended or modified. However, Lots, including all Residences thereon, shall not be rented by the Owners for any period less than thirty (30) days, to include, without limitation, short-term rentals of such Residences by the Owner's participation in businesses such as Airbnb, or VRBO, or other similar types of vacation or short-term rental of residences; and further, any lease shall be in writing and shall be subject to the covenants and restrictions contained in this Amended and Restated Declaration. The Owner is responsible for delivering a copy of any lease on a Lot to the Association or the Declarant. Failure or refusal to deliver a copy of a lease to the Association or the Declarant after written notice to comply with this requirement shall be grounds for assessment of a Fine pursuant to Section 5.06, below, an action to recover damages or injunctive relief, or all of the foregoing, and for reimbursement of all

attorney's fees incurred in connection therewith, which action shall be maintainable by the Board in the name of the Association on behalf of the Owners.

7. Section 8.09a of the Amended and Restated Declaration is hereby deleted in its entirety and the following completely amended and fully restated Section 8.09a is hereby fully substituted in its place and stead in the Amended and Restated Declaration by virtue of this Second Amendment to read henceforth as follows:

Section 8.09 Architectural and Design Standards.

a. Construction Requirements. Any Residence constructed upon a Lot in The Grove shall have a minimum square footage as required by the Rules of the Design Review Committee and may not exceed two stories in height unless a variance is granted by the Design Review Committee. In computing the square footage of a Residence, the square footage shall be computed exclusive of open porches, basements, walkout basements, garages and outbuildings. Except as otherwise specifically provided in the Second Amended and Fully Restated Architectural and Design Rules, attached to this Second Amendment as Exhibit B, or as may hereafter be further amended or modified, the principal first floor material, other than glass, of the exterior of all the buildings on any Lot in The Grove shall be not less than eighty percent (80%) brick, stone, stucco or reasonable equivalent, unless a variance is granted by the Design Review Committee in advance of construction. A determination of the Design Review Committee as to the nature of the permissible other materials and percentages thereof on the exterior of the first floor shall be final and binding on all persons. Vinyl or metal siding is prohibited. Garages must be at least two cars in capacity, unless otherwise approved by the Design Review Committee. Every outbuilding erected on any of said Lots shall, unless the Design Review Committee otherwise consents in writing, correspond in style and architecture to the Residence to which it is appurtenant.

8. Pursuant to the provisions of Article VIII of the Amended and Restated Declaration on page 31 thereof, the Architectural and Design Rules are hereby completely amended and fully restated in their entirety by the Declarant and are set forth on **Exhibit B**, which is attached to this Second Amendment and by this reference made an integral part hereof, as the Second Amended and Fully Restated Architectural and Design Rules Adopted by the Design Review Committee of The Grove Addition.

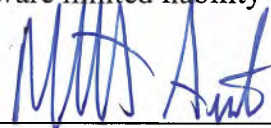
The Amended and Restated Declaration, as amended and annexed by the provisions of this Second Amendment, hereby is completely ratified and confirmed by the Declarant in all respects.

*Signature Page Follows*

IN WITNESS WHEREOF, the undersigned, being the Declarant above designated, has hereunto set its hand to this SECOND AMENDMENT AND ANNEXATION TO THE AMENDED AND FULLY RESTATED DECLARATION OF COVENANTS AND RESTRICTIONS OF THE GROVE ADDITION IN THE CITY OF OKLAHOMA CITY, OKLAHOMA COUNTY, STATE OF OKLAHOMA, effective this 26<sup>th</sup> day of August, 2019.

**DECLARANT:**

CALIBER DEVELOPMENT COMPANY LLC,  
a Delaware limited liability company

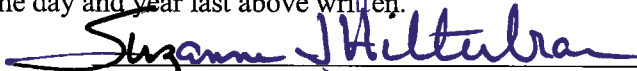
By:   
Matthew Austin, its President

STATE OF OKLAHOMA     )  
  )  
  )     ss:  
COUNTY OF OKLAHOMA    )

Before me, the undersigned, a Notary Public in and for said County and State, on this 26 day of August, 2019, personally appeared Matthew Austin, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as the President of CALIBER DEVELOPMENT COMPANY LLC, a Delaware limited liability company, and acknowledged to me that he executed the same as his free and voluntary act and deed and as of said company, for the uses and purposes therein set forth.

Given under my hand and seal of office the day and year last above written.



  
Notary Public, State of Oklahoma  
My Commission Expires: 3/4/22  
Notary's Printed Name: Suzanne J Hiltbrun

## EXHIBIT A-1

### Legal Description of The Grove, Phase I

A part of the Northeast Quarter (NE/4) of Section Twenty-Five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, City of Oklahoma City, County of Oklahoma, Oklahoma and being more particularly described as follows:

**Commencing** at the Northeast corner of said Northeast Quarter (NE/4); thence South 00°15'55" East along the east line of said Northeast Quarter a distance of 395.38 feet to the **POINT OF BEGINNING**; thence continuing South 00°15'55" East along the said east line a distance of 1002.12 feet; thence South 89°44'05" West a distance of 103.82 feet to a point on a curve to the right, said curve having a radius of 260.50 feet, a central angle of 21°09'15", a chord bearing of North 79°41'17" West and a chord distance of 95.63 feet; thence along the arc of said curve a distance of 96.18 feet to a point on a compound curve to the left, said curve having a radius of 139.50 feet, a central angle of 21°09'15", a chord bearing of North 79°41'17" West and a chord distance of 51.21 feet; thence along the arc of said curve a distance of 51.50 feet; thence South 89°44'05" West a distance of 166.45 feet; thence South 44°44'05" West a distance of 48.79 feet; thence South 00°15'55" East a distance of 3.74 feet; thence South 89°44'05" West a distance of 174.97 feet; thence North 06°06'52" West a distance of 228.93 feet; thence North 23°03'37" West a distance of 178.64 feet; thence North 32°46'37" West a distance of 109.86 feet; thence North 02°45'25" East a distance of 70.33 feet; thence North 59°32'25" West a distance of 97.44 feet to a point on a non-tangent curve to the left, said curve having a radius of 225.00 feet, a central angle of 03°26'36", a chord bearing of South 27°27'53" West and a chord distance of 13.52 feet; thence along the arc of said curve a distance of 13.52 feet; thence North 64°15'25" West a distance of 50.00 feet; thence North 58°54'53" West a distance of 86.82 feet; thence North 67°48'49" West a distance of 135.75 feet; thence North 76°17'48" West a distance of 104.87 feet; thence North 85°13'34" West a distance of 115.90 feet to a point on a non-tangent curve to the left, said curve having a radius of 225.00 feet, a central angle of 05°28'45", a chord bearing of South 02°11'06" East and a chord distance of 21.51 feet; thence along the arc of said curve a distance of 21.52 feet; thence South 85°04'31" West a distance of 50.00 feet; thence South 87°54'50" West a distance of 147.59 feet; thence North 07°04'29" West a distance of 50.58 feet; thence North 05°27'55" East a distance of 27.67 feet; thence North 24°27'28" East a distance of 69.30 feet to a point on a non-tangent curve to the right, said curve having a radius of 475.00 feet, a central angle of 04°36'37", a chord bearing of North 77°34'44" East and a chord distance of 38.21 feet; thence along the arc of said curve a distance of 38.22 feet; thence North 10°06'58" West a distance of 50.00 feet; thence North 12°32'31" West a distance of 185.34 feet; thence North 53°29'02" West a distance of 132.39 feet; thence North 37°01'22" West a distance of 44.94 feet; thence North 24°13'32" West a distance of 61.31 feet; thence North 05°51'50" West a distance of 100.36 feet; thence North 30°52'51" West a distance of 31.75 feet to a point on the north line of the Northeast Quarter (NE/4); thence North 89°15'52" East along the said north line a distance of 1316.70 feet; thence South 00°43'48" East a distance of 392.33 feet; thence North 89°44'08" East a distance of 369.21 feet to the point of beginning containing 1,435,926.5569 square feet or 32.9643 acres more or less.

The foregoing is otherwise known and described as all of the real property described in the Plat filed May 31, 2007, and recorded in Book 65 Plats, at Page 42 in the office of the County Clerk of Oklahoma County, Oklahoma.

## EXHIBIT A-2

### Legal Description of The Grove, Phase II

A part of the North Half (N/2) of Section Twenty-Five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, City of Oklahoma City, County of Oklahoma, Oklahoma and being more particularly described as follows:

**Commencing** at the Northeast corner of said North Half (N/2); thence South 89°15'52" West along the north line of the Northeast Quarter a distance of 1689.11 feet to the **POINT OF BEGINNING**; thence from said point of beginning South 30°52'51" East a distance of 31.75 feet; thence South 05°51'50" East a distance of 100.36 feet; thence South 24°13'32" East a distance of 61.31 feet; thence South 37°01'22" East a distance of 44.94 feet; thence South 53°29'02" East a distance of 132.39 feet; thence South 12°32'31" East a distance of 185.34 feet; thence South 10°06'58" East a distance of 50.00 feet to a point on a non-tangent curve to the left, said curve having a radius of 475.00 feet, a central angle of 25°48'22", a chord bearing of South 66°58'51" West and a chord distance of 212.14 feet; thence along the arc of said curve a distance of 213.94 feet; thence South 54°04'40" West a distance of 216.17 feet; thence South 35°50'08" East a distance of 122.50 feet; thence South 54°04'40" West a distance of 279.89 feet; thence South 46°20'06" West a distance of 436.99 feet; thence South 62°13'32" West a distance of 268.67 feet; thence South 10°53'13" West a distance of 194.82 feet; thence North 45°22'28" West a distance of 79.70 feet; thence North 45°48'16" West a distance of 136.23 feet to a point on a non-tangent curve to the right, said curve having a radius of 110.00 feet, a central angle of 82°19'23", a chord bearing of South 72°13'14" West and a chord distance of 144.80 feet; thence along the arc of said curve a distance of 158.05 feet to a point on a reverse curve to the left, said curve having a radius of 118.00 feet, a central angle of 51°09'24", a chord bearing of South 87°48'14" West, and a chord distance of 101.89 feet; thence along the arc of said curve a distance of 105.36 feet; thence North 27°46'28" West a distance of 50.00 feet to a point on a non-tangent curve to the left, said curve having a radius of 118.00 feet, a central angle of 51°09'24", a chord bearing of North 36°38'49" East and a chord distance of 101.89 feet; thence along the arc of said curve a distance of 105.36 feet to a point on a reverse curve to the right, said curve having a radius of 110.00 feet, a central angle of 33°56'27", a chord bearing of North 28°02'21" East and a chord distance of 64.21 feet; thence along the arc of said curve a distance of 65.16 feet; thence North 17°42'37" East a distance of 41.54 feet; thence North 16°06'50" West a distance of 91.86 feet to a point on a curve to the right, said curve having a radius of 1030.00 feet, a central angle of 12°02'05", a chord bearing of North 10°05'48" West and a chord distance of 215.95 feet; thence along the arc of said curve a distance of 216.35 feet; thence North 47°20'27" West a distance of 35.99 feet; thence North 01°17'52" West a distance of 50.00 feet; thence North 44°44'43" East a distance of 35.99 feet to a point on a non-tangent curve to the right, said curve having a radius of 1030.00 feet, a central angle of 11°01'04", a chord bearing of North 06°59'34" East and a chord distance of 197.76 feet; thence along the arc of said curve a distance of 198.07 feet to a point on a reverse curve to the left, said curve having a radius of 295.00 feet, a central angle of 37°59'43", a chord bearing of North 06°29'46" West and a chord distance of 192.06 feet; thence along the arc of said curve a distance of 195.63 feet; thence North 25°29'37" West a distance of 216.15 feet to a point on a curve to the right, said curve having a radius of 355.00 feet, a central angle of 20°47'06", a chord bearing of North 15°06'04" West and a chord distance of 128.08 feet; thence along the arc of said curve a distance of 128.78 feet to a point on a reverse curve to the left, said curve having a radius of 100.00 feet, a central angle of 17°16'40", a chord bearing of North 13°20'51" West and a chord distance of 30.04 feet; thence along the arc of said curve a distance of 30.16 feet to a point on a compound curve to the right, said curve having a radius of 210.23 feet, a central angle of 21°01'04", a chord bearing of North 11°28'40" West and a chord distance of 76.69 feet; thence along the arc of said curve a distance of 77.12 feet; thence North 00°44'08" West a distance of 65.22 feet to a point on the north line of the Northwest

Quarter (NW/4); thence North 89°16'35" East a distance of 447.80 feet to the Northwest corner of the Northeast Quarter (NE/4); thence North 89°15'52" East along the north line of the said Northeast Quarter (NE/4) a distance of 960.45 feet to the point of beginning containing 1,663,899.2779 square feet or 38.1979 acres more or less.

The foregoing is otherwise known and described as all of the real property described in the Plat filed May 7, 2008, and recorded in Book 66 Plats, at Page 73 in the office of the County Clerk of Oklahoma County, Oklahoma.

## EXHIBIT A-3

### Legal Description of The Grove, Phase III

A tract of land in the Northeast Quarter (NE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Northeast Corner of said Northeast Quarter; THENCE South 00° 15' 55" East along the east line of said Northeast Quarter a distance of 1408.78 feet; Thence South 89° 44' 05" West a distance of 449.12 feet to the POINT OF BEGINNING;

Thence South 00° 15' 55" East a distance of 10.00 feet; Thence South 89° 44' 05" West a distance of 50.00 feet; Thence South 00° 15' 55" East a distance of 434.86 feet; Thence South 89° 44' 05" West a distance of 125.72 feet; Thence North 76° 08' 40" West a distance of 110.00 feet; Thence North 60° 28' 41" West a distance of 121.59 feet; Thence North 37° 54' 45" West a distance of 63.60 feet; Thence South 52° 05' 15" West a distance of 151.72 feet; Thence North 36° 24' 55" West a distance of 179.99 feet; Thence North 35° 50' 08" West a distance of 313.32 feet; Thence North 35° 50' 08" West a distance of 29.68 feet; Thence North 00° 52' 25" East a distance of 31.73 feet; Thence North 27° 18' 38" East a distance of 78.48 feet; Thence North 29° 10' 35" West a distance of 27.38 feet; Thence North 10° 58' 07" West a distance of 92.16 feet; Thence North 29° 58' 33" West a distance of 75.00 feet; Thence North 25° 49' 21" West a distance of 42.72 feet; Thence North 32° 07' 58" West a distance of 53.87 feet; Thence North 52° 31' 39" West a distance of 67.82 feet; Thence North 35° 50' 08" West a distance of 120.01 feet; Thence North 15° 04' 47" West a distance of 60.93 feet; Thence North 01° 58' 23" East a distance of 50.66 feet; Thence North 03° 19' 13" West a distance of 79.09 feet; Thence North 87° 54' 50" East a distance of 147.59 feet; Thence North 85° 04' 31" East a distance of 50.00 feet; Thence along a curve turning to the right having a radius of 225.00 feet, and a chord bearing of North 02° 11' 06" West a distance of 21.51 feet, for an arc length of 21.52 feet; Thence South 85° 13' 34" East a distance of 115.90 feet; Thence South 76° 17' 48" East a distance of 104.87 feet; Thence South 67° 48' 49" East a distance of 135.75 feet; Thence South 58° 54' 53" East a distance of 86.82 feet; Thence South 64° 15' 25" East a distance of 50.00 feet; Thence along a curve to the right having a radius of 225.00 feet, and a chord bearing of North 27° 27' 53" East a distance of 13.52 feet, for an arc length 13.52; Thence South 59° 32' 25" East a distance of 97.44 feet; Thence South 02° 45' 25" West a distance of 70.33 feet; Thence South 32° 46' 37" East a distance of 109.86 feet; Thence South 23° 03' 37" East a distance of 178.64 feet; Thence South 06° 06' 52" East a distance of 228.93 feet to the Southwest corner of Lot 12, Block 4, The Grove Phase 1; Thence North 89° 44' 05" East a distance of 174.97 feet to the POINT OF BEGINNING.

Said described tract contains 724,373 square feet or 16.6293 acres, more or less.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase III, filed on June 7, 2011, and recorded in Book 69 Plats, at Page 12, *et. seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-4

### Legal Description of The Grove, Phase IV

A part of the Northeast Quarter (NE/4) of Section Twenty-Five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, City of Oklahoma City, County of Oklahoma, Oklahoma and being more particularly described as follows:

**Commencing** at the Northeast corner of said Northeast Quarter (NE/4); thence South 89°15'52" West along the north line of said Northeast Quarter a distance of 1,834.67 feet; Thence South 00°44'08" East a distance of 735.76 feet to the **POINT OF BEGINNING**, said point being the Northeast Corner of Lot 8, Block 6 of The Grove, Phase 2, an addition to the City of Oklahoma City; Thence North 54° 04' 40" East a distance of 216.17 feet; Thence along a curve to the right, having a radius of 475.00 feet and a chord bearing of North 64° 40' 33" East a distance of 174.72 feet, a distance of 175.72 feet; Thence South 24° 27' 28" West a distance of 69.30 feet; Thence South 05° 27' 55" West a distance of 27.67 feet; Thence South 07° 04' 29" East a distance of 50.58 feet; Thence South 03° 19' 13" East a distance of 79.09 feet; Thence South 01° 58' 23" West a distance of 50.66 feet; Thence South 15° 04' 47" East a distance of 60.93 feet; Thence South 35° 50' 08" East a distance of 120.01 feet; Thence South 52° 31' 39" East a distance of 67.82 feet; Thence South 32° 07' 58" East a distance of 53.87 feet; Thence South 25° 49' 21" East a distance of 42.72 feet; Thence South 29° 58' 33" East a distance of 75.00 feet; Thence South 10° 58' 07" East a distance of 92.16 feet; Thence South 29° 10' 35" East a distance of 27.38 feet; Thence South 27° 18' 38" West a distance of 78.48 feet; Thence South 00° 52' 25" West a distance of 31.73 feet; Thence South 35° 50' 08" East a distance of 29.68 feet; Thence South 35° 50' 08" East a distance of 313.32 feet; Thence South 36° 24' 55" East a distance of 170.67 feet; Thence South 52° 16' 43" West a distance of 210.89 feet; Thence South 68° 09' 33" West a distance of 847.32 feet; Thence North 45° 22' 28" West a distance of 875.42 feet; Thence North 10° 53' 13" East a distance of 188.81 feet; Thence North 62° 13' 32" East a distance of 268.67 feet; Thence North 46° 20' 06" East a distance of 436.99 feet; Thence North 54° 04' 40" East a distance of 279.89 feet; Thence North 35° 50' 08" West a distance of 122.50 feet to the **POINT OF BEGINNING**. Said Described tract contains 1,354,859.17 square feet or 31.1033 acres, more or less.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase IV, filed on May 21, 2013, and recorded in Book 70 Plats, at Page 84, *et. seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.



## EXHIBIT A-5

### Legal Description of The Grove, Phase V

A part of the Northwest Quarter (NW/4) of Section Twenty-Five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, City of Oklahoma City, County of Oklahoma, Oklahoma and being more particularly described as follows:

**Commencing** at the Northwest corner of said Northwest (NW/4); Thence North 89°16'35" East along the north line of said Northwest Quarter a distance of 1217.32 feet; Thence South 00°43'25" East a distance of 491.47 feet to the **POINT OF BEGINNING**,

Thence, S 00° 43' 25" E a distance of 25.23 feet; Thence North 63° 54' 56" East a distance of 246.72 feet; Thence South 45° 48' 16" East a distance of 225.15 feet; Thence North 89° 16' 35" East a distance of 778.77 feet; Thence along a curve to the right having a radius of 295.00 feet and a chord bearing of South 01° 37' 08" West a distance of 111.39 feet, for an arc length of 112.06 feet; Thence along a curve to the left having a radius of 1030.00 feet and a chord bearing of South 06° 59' 34" West a distance of 197.76 feet, for an arc length of 198.07 feet; Thence South 44° 44' 43" West a distance of 35.99 feet; Thence South 01° 17' 52" East a distance of 50.00 feet; Thence along a curve to the left having a radius of 775.00 feet and a chord bearing of South 84° 18' 15" West a distance of 118.87 feet, for an arc length of 118.98 feet; Thence South 31° 50' 45" West a distance of 32.41 feet; Thence South 20° 39' 40" East a distance of 0.39 feet; Thence South 69° 17' 40" West a distance of 62.48 feet; Thence North 45° 48' 16" West a distance of 77.44 feet; Thence South 44° 11' 44" West a distance of 60.00 feet; Thence South 68° 32' 40" West a distance of 648.50 feet; Thence South 75° 40' 07" West a distance of 120.75 feet; Thence North 27° 44' 05" West a distance of 175.08 feet; Thence South 70° 25' 12" West a distance of 68.29 feet; Thence North 88° 15' 49" West a distance of 332.83 feet; Thence North 46° 26' 09" West a distance of 155.80 feet; Thence North 35° 11' 39" East a distance of 205.62 feet; Thence North 51° 52' 53" East a distance of 129.67 feet; Thence North 45° 40' 04" East a distance of 40.63 feet; Thence North 32° 40' 28" East a distance of 282.53 feet; Thence North 89° 16' 35" East a distance of 90.27 feet to the **POINT OF BEGINNING**. Said described tract contains 827,534.13 square feet or 18.9976 acres, more or less.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase V, filed on December 12, 2012, and recorded in Book 70 Plats, at Page 38, *et. seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-6

### Legal Description of The Grove, Phase VI

A tract of land being a part of the Northeast Quarter (NE/4) and Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, and being a portion of Common Areas "G" as shown on the plat THE GROVE, PHASE III recorded in Book 69 plats, Page 12, being more particularly described as follows:

**Commencing** at the Northeast (NE) Corner of said Northeast Quarter (NE/4);  
THENCE South 00°15'55" East, along and with the East line of said Northeast Quarter (NE/4), a distance of 1,397.50 feet to the Southeast (SE) Corner of THE GROVE PHASE I recorded in Book 65 of plats, Page 42, said point being the **POINT OF BEGINNING**;

THENCE continuing South 00°15'55" East along and with the East line of said Northeast Quarter (NE/4), a distance of 1,261.55 feet to the Southeast (SE) Corner of said Northeast Quarter (NE/4);

THENCE South 00°15'48" East, along and with the East line of said Southeast Quarter (SE/4), a distance of 620.79 feet;

THENCE North 36°22'35" West, departing said East line, a distance of 600.55 feet;

THENCE South 85°51'02" West, a distance of 312.03 feet;

THENCE on a non-tangent curve to the right, having a radius of 1,075.00 feet, a chord bearing of North 01°26'23" West, a chord length of 33.56 feet and an arc length of 33.56;

THENCE South 89°27'16" West, a distance of 50.00 feet;

THENCE North 82°26'30" West, a distance of 120.77 feet;

THENCE North 64°00'44" West, a distance of 177.14 feet;

THENCE North 42°45'56" West, a distance of 199.61 feet;

THENCE North 18°25'24" West, a distance of 214.60 feet;

THENCE North 05°50'44" West, a distance of 176.85 feet;

THENCE North 00°58'38" East, a distance of 215.49 feet to a point on the South line of THE GROVE PHASE IV recorded in Book 70 plats, Page 84;

THENCE along and with the South line of THE GROVE PHASE IV the following two (2) calls:

1. North 68°09'33" East, a distance of 42.81 feet;
2. North 52°16'43" East, a distance of 210.89 feet to a point on the South line of THE GROVE, PHASE III recorded in Book 69 plats, Page 12;

THENCE along and with the South line of THE GROVE, PHASE III the following six (6) calls:

1. South 36°24'55" East, a distance of 9.32 feet;
2. North 52°05'15" East, a distance of 151.72 feet;
3. South 37°54'45" East, a distance of 63.60 feet;
4. South 60°28'41" East, a distance of 121.59 feet;
5. South 76°08'40" East, a distance of 110.00 feet;
6. North 89°44'05" East, a distance of 125.72 feet;

THENCE North 00°15'55" West, along and with the East line extended of THE GROVE, PHASE III, a distance of 444.86 feet to a point on the South line of THE GROVE PHASE I recorded in Book 65 plats, Page 42, said point being the Southeast (SE) corner of Lot Twelve (12) Block Four (4) of said THE GROVE PHASE I;

THENCE along and with the South line of THE GROVE PHASE I the following six (6) calls:

1. North 89°44'05" East, a distance of 50.00 feet;
2. North 00°15'55" West, a distance of 3.74 feet;
3. North 44°44'05" East, a distance of 48.79 feet;
4. North 89°44'05" East, a distance of 166.45 feet;
5. on a curve to the right, having a radius of 139.50 feet, a chord bearing of South 79°41'17" East, a chord length of 51.21 feet and an arc length of 51.50 feet;
6. on a reverse curve to the left, having a radius of 260.50 feet, a chord bearing of South 79°41'17" East, a chord length of 95.63 feet and an arc length of 96.18 feet;
7. North 89°44'05" East, a distance of 103.82 feet to the **POINT OF BEGINNING.**

Containing 1,411,714 square feet or 32.4085 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83)

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase VI, filed on August 14, 2014, and recorded in Book 72 Plats, at Page 14, *et seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-7

### Legal Description of The Grove, Phase VII

A tract of land being a part of Northwest Quarter (NW/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Northwest (NW) Corner of said Northwest Quarter (NW/4);

THENCE North  $89^{\circ}16'35''$  East, along and with the North line of said Northwest Quarter (NW/4), a distance of 2,321.90 feet;

THENCE South  $00^{\circ}43'25''$  East, departing said North line, a distance of 952.51 feet to a point on the West line of THE GROVE PHASE II recorded in Book 66 of plats, Page 73, said point being the Southeast (SE) Corner of THE GROVE PHASE V recorded in Book 70 of plats, Page 38, said point being the POINT OF BEGINNING;

THENCE along and with the West line of said plat THE GROVE PHASE II the following seven (7) calls:

1. South  $47^{\circ}20'27''$  East, a distance of 35.99 feet;
2. THENCE on a non-tangent curve to the left having a radius of 1,030.00 feet, a chord bearing of South  $10^{\circ}05'48''$  East, a chord length of 215.95 feet and an arc length of 216.35 feet;
3. South  $16^{\circ}06'50''$  East, a distance of 91.86 feet;
4. South  $17^{\circ}42'37''$  West, a distance of 41.54 feet;
5. on a non-tangent curve to the left having a radius of 110.00 feet, a chord bearing of South  $28^{\circ}02'21''$  West, a chord length of 64.21 feet and an arc length of 65.16 feet;
6. on a reverse curve to the right having a radius of 118.00 feet, a chord bearing of South  $36^{\circ}38'49''$  West, a chord length of 101.89 feet and an arc length of 105.36 feet;
7. South  $27^{\circ}46'28''$  East, a distance of 50.00 feet to a point on the North line of THE GROVE RECREATION CENTER recorded in Book 67 of plats, Page 97;

THENCE along and with the North line of said plat THE GROVE RECREATION CENTER the following two (2) calls:

1. on a non-tangent curve to the left having a radius of 75.00 feet, a chord bearing of South  $45^{\circ}19'00''$  West, a chord length of 43.63 feet and an arc length of 44.27 feet;
2. South  $28^{\circ}24'29''$  West, a distance of 68.79 feet;

THENCE North  $61^{\circ}35'31''$  West, departing said North line, a distance of 50.00 feet;

THENCE on a non-tangent curve to the left having a radius of 125.00 feet, a chord bearing of South  $25^{\circ}09'06''$  West, a chord length of 14.20 feet and an arc length of 14.21 feet;

THENCE South  $62^{\circ}35'21''$  West, a distance of 238.53 feet;

THENCE South  $68^{\circ}32'40''$  West, a distance of 269.43 feet;

THENCE South  $82^{\circ}53'44''$  West, a distance of 161.38 feet;

THENCE South  $68^{\circ}32'40''$  West, a distance of 251.23 feet;

THENCE North  $23^{\circ}27'10''$  West, a distance of 233.87 feet;

THENCE North  $20^{\circ}07'23''$  West, a distance of 108.33 feet;

THENCE North  $28^{\circ}31'24''$  West, a distance of 165.50 feet;

THENCE North  $25^{\circ}41'04''$  East, a distance of 161.76 feet to a point on the extended South line of Common Areas "H" as shown on said plat THE GROVE PHASE V;

THENCE North  $75^{\circ}40'07''$  East, along and with the extended South line of Common Areas "H" as shown on said plat THE GROVE PHASE V, a distance of 212.02 feet;

THENCE continuing along and with the South line of said plat THE GROVE PHASE V the following seven (7) calls:

1. North 68°32'40" East, a distance of 648.50 feet;
2. North 44°11'44" East, a distance of 60.00 feet;
3. South 45°48'16" East, a distance of 77.44 feet;
4. North 69°17'40" East, a distance of 62.48 feet;
5. North 20°39'40" West, a distance of 0.39 feet;
6. North 31°50'45" East, a distance of 32.41 feet;
7. on a non-tangent curve to the right having a radius of 775.00 feet, a chord bearing of North 84°18'15" East, a chord length of 118.87 feet and an arc length of 118.98 feet to the POINT OF BEGINNING.

Containing 721,275 square feet or 16.5582 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83)

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase VII, filed on March 23, 2015, and recorded in Book 72 Plats, at Page 99, *et. seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-8

### Legal Description of The Grove, Phase VIII

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southeast (SE) Corner of said Southeast Quarter (SE/4);  
THENCE South 89°46'02" West, along and with the South line of said Southeast Quarter (SE/4), a distance of 1,645.00 feet to the POINT OF BEGINNING;  
THENCE continuing South 89°46'02" West, along and with the South line of said Southeast Quarter (SE/4), a distance of 137.96 feet;  
THENCE North 39°35'49" West, departing said South line, a distance of 811.97 feet to a point on the extended South right-of-way line of Autumn Grove Drive as shown on the recorded plat THE GROVE SOUTH PHASE 2;  
THENCE along and with the extended South right-of-way line and along and with the South right-of-way line of said Autumn Grove Drive the following nine (9) calls:

1. on a non-tangent curve to the left having a radius of 575.00 feet, a chord bearing of South 80°15'27" East, a chord length of 171.24 feet and an arc length of 171.88 feet;
  2. South 88°49'15" East, a distance of 176.52 feet;
  3. on a curve to the left having a radius of 1,025.00 feet, a chord bearing of North 85°02'27" East, a chord length of 219.20 feet and an arc length of 219.62 feet;
  4. South 58°32'37" East, a distance of 36.42 feet;
  5. South 15°17'27" East, a distance of 187.45 feet;
  6. on a curve to the right having a radius of 1,010.00 feet, a chord bearing of South 07°45'43" East, a chord length of 264.68 feet and an arc length of 265.44 feet;
  7. South 00°13'58" East, a distance of 74.26 feet;
  8. South 44°46'02" West, a distance of 35.36 feet;
  9. South 00°13'58" East, a distance of 50.00 feet to the POINT OF BEGINNING.
- Containing 229,796 square feet or 5.2754 acres, more or less.

AND

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southeast (SE) Corner of said Southeast Quarter (SE/4);  
THENCE South 89°46'02" West, along and with the South line of said Southeast Quarter (SE/4), a distance of 1,495.00 feet to a point on the East line of the recorded plat THE GROVE PHASE 2;  
THENCE along and with the East line of THE GROVE SOUTH PHASE 2 the following eight (8) calls:

1. North 00°13'58" West, a distance of 50.00 feet;
2. North 45°13'58" West, a distance of 35.36 feet;
3. North 00°13'58" West, a distance of 74.26 feet;
4. on a curve to the left having a radius of 1,110.00 feet, a chord bearing of North 04°08'07" West, a chord length of 151.09 feet and an arc length of 151.21 feet to the POINT OF BEGINNING;

5. continuing on a curve to the left having a radius of 1,110.00 feet, a chord bearing of North 11°39'52" West, a chord length of 140.42 feet and an arc length of 140.51 feet;
6. North 15°17'27" West, a distance of 187.45 feet;
7. North 27°57'42" East, a distance of 36.42 feet;
8. on a non-tangent curve to the left having a radius of 1,025.00 feet, a chord bearing of North 68°54'43" East, a chord length of 57.37 feet and an arc length of 57.38 feet to a point on the South line of the recorded plat THE GROVE SOUTH PHASE 1;

THENCE along and with the South line of THE GROVE SOUTH PHASE 1 the following six (6) calls:

1. continuing along said curve to the left having a radius of 1,025.00 feet, a chord bearing of North 53°45'00" East, a chord length of 480.58 feet and an arc length of 485.10 feet;
2. North 40°11'31" East, a distance of 94.82 feet;
3. North 85°11'31" East, a distance of 35.36 feet;
4. South 49°48'29" East, a distance of 87.34 feet;
5. on a curve to the left having a radius of 425.00 feet, a chord bearing of South 67°47'47" East, a chord length of 262.50 feet and an arc length of 266.86 feet;
6. South 85°47'05" East, a distance of 101.28 feet;

THENCE South 00°15'48" East, departing said South line, a distance of 564.10 feet;

THENCE South 89°46'02" West, a distance of 890.12 feet to the POINT OF BEGINNING.

Containing 521,226 square feet or 11.9657 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83)

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase VIII, filed on April 13, 2016, and recorded in Book 74 Plats at Page 42, *et seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-9

### Legal Description of The Grove, Phase IX

A tract of land being a part of the Northeast Quarter (NE/4) and the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Northeast (NE) Corner of said Northeast Quarter (NE/4);

THENCE South  $00^{\circ}15'55''$  East, along and with the East line of said Northeast Quarter (NE/4), a distance of 2,336.63 feet;

THENCE South  $89^{\circ}44'05''$  West, departing said East line, a distance of 1,196.20 feet to a point on the West line of THE GROVE PHASE VI, said point being 7.74 feet North  $18^{\circ}25'24''$  West of the Southwest (SW) Corner of Lot Eleven (11) Block Sixteen (16) of said plat THE GROVE PHASE VI, said point being the POINT OF BEGINNING;

THENCE along and with the West line of said plat THE GROVE PHASE VI the following three (3) calls:

1. South  $18^{\circ}25'24''$  East, a distance of 214.60 feet;
2. South  $42^{\circ}45'56''$  East, a distance of 199.61 feet;
3. South  $64^{\circ}00'44''$  East, a distance of 177.14 feet to a point on the North line of THE GROVE SOUTH PHASE 3;

THENCE along and with the North and West line of said plat THE GROVE SOUTH PHASE 3 the following seven (7) calls:

1. North  $82^{\circ}26'30''$  West, a distance of 53.14 feet;
2. North  $64^{\circ}34'54''$  West, a distance of 55.11 feet;
3. South  $18^{\circ}57'44''$  West, a distance of 167.99 feet;
4. South  $17^{\circ}13'51''$  East, a distance of 114.59 feet;
5. South  $14^{\circ}20'45''$  West, a distance of 94.50 feet;
6. South  $44^{\circ}12'40''$  West, a distance of 74.53 feet;
7. South  $45^{\circ}47'20''$  East, a distance of 107.41 feet (107.66 feet record) to the Northernmost Corner of THE GROVE SOUTH PHASE 1;

THENCE along and with the Northwesterly line of said plat THE GROVE SOUTH PHASE 1 the following seven (7) calls:

1. South  $44^{\circ}12'40''$  West, a distance of 229.75 feet (230.00 feet record);
2. South  $45^{\circ}47'20''$  East, a distance of 15.34 feet;
3. South  $44^{\circ}12'40''$  West, a distance of 446.09 feet;
4. South  $41^{\circ}00'20''$  West, a distance of 214.53 feet;
5. South  $52^{\circ}40'48''$  West, a distance of 92.63 feet;
6. North  $37^{\circ}19'12''$  West, a distance of 9.23 feet;
7. South  $52^{\circ}40'48''$  West, a distance of 170.00 feet to the Westernmost Corner of said plat THE GROVE SOUTH PHASE 1, said point also lying on the Northeast line of THE GROVE SOUTH PHASE 2;

THENCE North  $37^{\circ}19'12''$  West, along and with the Northeast line of said plat THE GROVE SOUTH PHASE 2, a distance of 221.67 feet to the Easternmost Corner of THE GROVE SOUTH PHASE 4;

THENCE continuing North  $37^{\circ}19'12''$  West along and with the Northeast line of said plat THE GROVE SOUTH PHASE 4, a distance of 583.33 feet;



THENCE North 52°40'48" East, departing said Northeast line, a distance of 170.00 feet;  
THENCE North 37°19'12" West, a distance of 38.44 feet;  
THENCE North 03°26'44" East, a distance of 37.87 feet;  
THENCE North 44°12'40" East, a distance of 647.65 feet;  
THENCE South 45°47'20" East, a distance of 5.00 feet;  
THENCE North 44°12'40" East, a distance of 179.74 feet;  
THENCE North 45°47'20" West, a distance of 157.34 feet;  
THENCE North 68°09'33" East, a distance of 391.88 feet;  
THENCE North 72°11'31" East, a distance of 122.65 feet to the POINT OF BEGINNING.

Containing 1,208,509 square feet or 27.7435 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83)

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase IX, filed on August 3, 2016, and recorded in Book 74 Plats at Page 76, *et seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-10

### Legal Description of The Grove, Phase X

A tract of land being a part of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Northeast (NE) Corner of the Northeast Quarter (NE/4) of said Section Twenty-five (25);

THENCE South 00°15'55" East, along and with the East line of said Northeast Quarter (NE/4), a distance of 2,336.63 feet;

THENCE South 89°44'05" West, departing said East line, a distance of 1,196.20 feet to a point on the West line of THE GROVE PHASE VI, said point being 7.74 feet North 18°25'24" West of the Southwest (SW) Corner of Lot Eleven (11) Block Sixteen (16) of said plat THE GROVE PHASE VI, said point being the POINT OF BEGINNING;

THENCE South 72°11'31" West, a distance of 122.65 feet;

THENCE South 68°09'33" West, a distance of 391.88 feet;

THENCE South 45°47'20" East, a distance of 157.34 feet;

THENCE South 44°12'40" West, a distance of 179.74 feet;

THENCE North 45°47'20" West, a distance of 5.00 feet;

THENCE South 44°12'40" West, a distance of 647.65 feet;

THENCE South 03°26'44" West, a distance of 37.87 feet;

THENCE South 37°19'12" East, a distance of 38.44 feet;

THENCE South 52°40'48" West, a distance of 170.00 feet to a point on the Northeast (NE) line of THE GROVE SOUTH PHASE 4;

THENCE along and with the Northeast (NE) line of said plat THE GROVE SOUTH PHASE 4, the following nine (9) calls:

1. North 37°19'12" West, a distance of 37.56 feet;
2. South 52°40'48" West, a distance of 280.00 feet;
3. North 37°19'12" West, a distance of 170.00 feet;
4. South 52°40'48" West, a distance of 5.00 feet;
5. North 82°19'12" West, a distance of 35.36 feet;
6. South 52°40'48" West, a distance of 50.00 feet;
7. South 07°40'48" West, a distance of 35.36 feet;
8. South 52°40'48" West, a distance of 95.00 feet;
9. North 37°19'12" West, a distance of 746.18 feet;

THENCE North 60°41'53" East, departing said Northeast (NE) line, a distance of 414.71 feet;

THENCE North 59°32'03" East, a distance of 245.64 feet;

THENCE North 68°09'33" East, a distance of 799.66 feet;

THENCE North 45°22'28" West, a distance of 76.35 feet;

THENCE North 68°09'33" East, a distance of 804.51 feet to a point on the West line of THE GROVE PHASE VI, said point being the Northwest (NW) Corner of Common Area 'S' of said plat THE GROVE PHASE VI;

THENCE along and with the West line of said plat THE GROVE PHASE VI the following two (2) calls:

1. South 00°58'38" West, a distance of 215.49 feet;
2. South 05°50'44" East, a distance of 176.85 feet to the POINT OF BEGINNING.

Containing 1,285,946 square feet or 29.5213 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83)

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase X, as filed and recorded on October 26, 2016, in Book 74 Plats, at Page 98, *et seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-11

### Legal Description of The Grove South, Phase 1

A tract of land in the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southeast Corner of said Southeast Quarter; THENCE North 00° 15' 48" West along the east line of said Southeast Quarter a distance of 884.48 feet to the POINT OF BEGINNING; THENCE South 89° 44' 12" West a distance of 50.00 feet; THENCE North 45° 15' 48" West a distance of 35.36 feet; THENCE South 89° 44' 12" West a distance of 108.06 feet to a point on a curve; THENCE Southwesterly along a curve to the left having a radius of 288.00 feet and a chord bearing of South 78° 57' 38" West a distance of 107.70 feet, for an arc length of 108.33 feet to a point on a curve; THENCE along a curve to the right having a radius of 515.00 feet and a chord bearing of South 81° 11' 59" West a distance of 231.97 feet, for an arc length of 233.98 feet; THENCE North 85° 47' 05" West a distance of 223.39 feet; THENCE along a curve to the right having a radius of 425.00 feet and a chord bearing of North 67° 47' 47" West a distance of 262.50 feet, for an arc length of 266.86 feet; THENCE North 49° 48' 29" West a distance of 87.34 feet; THENCE South 85° 11' 31" West a distance of 35.36 feet; THENCE South 40° 11' 31" West a distance of 94.82 feet; THENCE along a curve to the right having a radius of 1025.00 feet and a chord bearing of South 53° 45' 00" West a distance of 480.58 feet, for an arc length of 485.10 feet; THENCE North 22° 41' 31" West a distance of 50.00 feet; THENCE North 07° 39' 47" West a distance of 335.52 feet; THENCE North 37° 19' 12" West a distance of 299.48 feet; THENCE North 52° 40' 48" East a distance of 120.00 feet; THENCE North 52° 40' 48" East a distance of 50.00 feet; THENCE South 37° 19' 12" East a distance of 9.23 feet; THENCE North 52° 40' 48" East a distance of 92.63 feet; THENCE North 41° 00' 20" East a distance of 214.53 feet; THENCE North 44° 12' 40" East a distance of 446.09 feet; THENCE North 45° 47' 20" West a distance of 15.34 feet; THENCE North 44° 12' 40" East a distance of 50.00 feet; THENCE North 44° 12' 40" East a distance of 180.00 feet; THENCE South 45° 47' 20" East a distance of 382.75 feet; THENCE South 83° 46' 55" East a distance of 50.00 feet; THENCE along a curve to the right having a radius of 1020.00 feet and a chord bearing of South 23° 12' 18" West a distance of 595.99 feet, for an arc length of 604.82 feet; THENCE South 40° 11' 31" West a distance of 226.23 feet; THENCE South 04° 48' 29" East a distance of 35.36 feet; THENCE South 49° 48' 29" East a distance of 87.34 feet; THENCE along a curve to the left having a radius of 375.00 feet and a chord bearing of South 67° 47' 47" East a distance of 231.62 feet, for an arc length of 235.47 feet; THENCE South 85° 47' 05" East a distance of 223.39 feet; THENCE along a curve to the left having a radius of 465.00 feet and a chord bearing of North 74° 19' 38" East a distance of 316.37 feet; for an arc length of 322.81 feet; THENCE along a curve to the right having a radius of 172.00 feet and a chord bearing of North 72° 05' 16" East a distance of 104.29 feet, for an arc length of 105.96 feet; THENCE North 89° 44' 12" East a distance of 34.97 feet; THENCE North 44° 44' 12" East a distance of 35.36 feet; THENCE North 89° 44' 12" East a distance of 50.00 feet; THENCE South 00° 15' 48" East a distance of 160.96 feet to the POINT OF BEGINNING, said described tract containing 19.2265 acres, more or less.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove South, Phase 1, filed on May 9, 2011, and recorded in Book 69 Plats, at Page 8, *et seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-12

### Legal Description of The Grove South, Phase 2

A tract of land in the Southeast Quarter (SE/4) and the Southwest Quarter (SW/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southeast Corner of said Southeast Quarter; THENCE South 89° 46' 02" West along the south line of said Southeast Quarter a distance of 1495.00 feet to the POINT OF BEGINNING; Thence South 89° 46' 02" West for a distance of 150.00 feet; Thence North 00° 13' 58" West for a distance of 50.00 feet; Thence North 44° 46' 02" East for a distance of 35.36 feet; Thence North 00° 13' 58" West for a distance of 74.26 feet to the beginning of a curve; Thence northeasterly along a curve to the left having a radius of 1010.00 feet, and a chord bearing of North 07° 45' 43" West for a distance of 264.68 feet, for an arc length of 265.44 feet; Thence North 15° 17' 27" West for a distance of 187.45 feet; Thence North 58° 32' 37" West for a distance of 36.42 feet to point on a curve; Thence westerly along a curve to the right having a radius of 1025.00 feet, and a chord bearing of South 85° 02' 27" West for a distance of 219.20 feet, for an arc length of 219.62 feet; Thence North 88° 49' 15" West for a distance of 176.52 feet to a point on a curve; Thence westerly along a curve to the right having a radius of 575.00 feet, and a chord bearing of North 80° 21' 54" West for a distance of 169.10 feet, for an arc length of 169.72 feet; Thence North 18° 05' 27" East for a distance of 50.00 feet; Thence North 37° 18' 18" West for a distance of 727.57 feet; Thence North 52° 40' 48" East for a distance of 123.18 feet to a point on a curve; Thence northwesterly along a curve to the right having a radius of 125.00 feet, and a chord bearing of North 49° 23' 19" West for a distance of 3.22 feet, for an arc length of 3.22 feet; Thence North 41° 20' 59" East for a distance of 50.00 feet; Thence North 52° 40' 48" East for a distance of 308.54 feet; Thence South 37° 19' 12" East for a distance of 325.94 feet; Thence North 52° 40' 48" East for a distance of 170.00 feet; Thence South 37° 19' 12" East for a distance of 4.96 feet; Thence North 52° 40' 48" East for a distance of 120.00 feet; Thence South 37° 19' 12" East for a distance of 521.15 feet; Thence South 07° 39' 47" East for a distance of 335.52 feet; Thence South 22° 41' 31" East for a distance of 50.00 feet to a point on a curve; Thence southwesterly along a curve to the right having a radius of 1025.00 feet, and a chord bearing of South 68° 54' 43" West for a distance of 57.37 feet, for an arc length of 57.38 feet; Thence South 27° 57' 42" West for a distance of 36.42 feet; Thence South 15° 17' 27" East for a distance of 187.45 feet to a point on a curve; Thence southeasterly along a curve to the right having a radius of 1110.00 feet, and a chord bearing of South 07° 45' 43" East for a distance of 290.89 feet, for an arc length of 291.72 feet; Thence South 00° 13' 58" East for a distance of 74.26 feet; Thence South 45° 13' 58" East for a distance of 35.36 feet; Thence South 00° 13' 58" East a distance of 50.00 feet to the POINT OF BEGINNING, said described tract containing 17.6729 acres, more or less.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove South, Phase 2, filed on August 4, 2011, and recorded in Book 69 Plats, at Page 33, *et seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-13

### Legal Description of The Grove South, Phase 3

A tract of land in the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described as follows:

**Commencing** at the Southeast Corner of said Southeast Quarter; Thence North 00° 15' 48" West along the east line of said Southeast Quarter a distance of 1045.44 feet; Thence South 89° 44' 12" West a distance of 50.00 feet to the **POINT OF BEGINNING**, said point being on the west right-of-way line of N. May Avenue;

Thence South 44° 44' 12" West a distance of 35.36 feet; Thence South 89° 44' 12" West a distance of 34.97 feet; Thence along a curve to the left, (having a radius of 172.00 feet, and a chord bearing of South 72° 05' 16" West a distance of 104.29 feet) an arc distance of 105.96 feet; Thence along a curve to the right, (having a radius of 465.00 feet, and a chord bearing of South 74° 19' 38" West a distance of 316.37 feet) an arc distance of 322.81 feet; Thence North 85° 47' 05" West a distance of 223.39 feet; Thence along a curve to the right, (having a radius of 375.00 feet, and a chord bearing of North 67° 47' 47" West a distance of 231.62 feet) an arc distance of 235.47 feet; Thence North 49° 48' 29" West a distance of 87.34 feet; Thence North 04° 48' 29" West a distance of 35.36 feet; Thence North 40° 11' 31" East a distance of 226.23 feet; Thence along a curve to the left, (having a radius of 1020.00 feet, and a chord bearing of North 23° 12' 18" East a distance of 595.99 feet) an arc distance of 604.82 feet; Thence North 83° 46' 55" West a distance of 50.00 feet; Thence North 45° 47' 20" West a distance of 382.75 feet; Thence North 45° 47' 20" West a distance of 107.66 feet; Thence North 44° 12' 40" East a distance of 74.53 feet; Thence North 14° 20' 45" East a distance of 94.50 feet; Thence North 17° 13' 51" West a distance of 114.59 feet; Thence North 18° 57' 44" East a distance of 167.99 feet; Thence South 64° 34' 54" East a distance of 55.11 feet; Thence South 82° 26' 30" East a distance of 173.91 feet; Thence North 89° 27' 16" East a distance of 50.00 feet; Thence along a curve to the left, (having a radius of 1075.00 feet, and a chord bearing of South 01° 26' 23" East a distance of 33.56 feet) an arc distance of 33.56 feet; Thence North 85° 51' 02" East a distance of 312.03 feet; Thence South 36° 22' 35" East a distance of 515.71 feet; Thence South 00° 15' 48" East a distance of 1061.76 feet to the **POINT OF BEGINNING**. Said described tract contains 1,219,240.24 square feet, or 27.9899 acres, more or less.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove South, Phase 3, filed on February 25, 2014, and recorded in Book 71 Plats, at Page 49, *et. seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-14

### Legal Description of The Grove South, Phase 4

A tract of land in the Southeast Quarter (SE/4) and the Southwest Quarter (SW/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southeast Corner of said Southwest Quarter; Thence North 00° 12' 36" West along the east line of said Southwest Quarter a distance of 1109.18 feet; Thence South 89° 47' 24" West a distance of 38.64 feet to the **POINT OF BEGINNING**;

Thence North 39° 35' 20" West a distance of 436.70 feet; Thence North 36° 07' 10" West a distance of 965.31 feet; Thence North 60° 41' 53" East a distance of 357.78 feet; Thence South 37° 19' 12" East a distance of 746.50 feet; Thence North 52° 40' 48" East a distance of 95.00 feet; Thence North 07° 40' 48" East a distance of 35.36 feet; Thence North 52° 40' 48" East a distance of 50.00 feet; Thence South 82° 19' 12" East a distance of 35.36 feet; Thence North 52° 40' 48" East a distance of 5.00 feet; Thence South 37° 19' 12" East a distance of 170.00 feet; Thence North 52° 40' 48" East a distance of 280.00 feet; Thence South 37° 19' 12" East a distance of 620.89 feet to the Northeast corner of Lot 20, Block 6, The Grove South Phase 2;

The next nine (9) courses are along the boundary of The Grove South Phase 2:

Thence South 52° 40' 48" West a distance of 120.00 feet; Thence North 37° 19' 12" West a distance of 4.96 feet; Thence South 52° 40' 48" West a distance of 170.00 feet; Thence North 37° 19' 12" West a distance of 325.94 feet; Thence South 52° 40' 48" West a distance of 308.54 feet; Thence South 41° 20' 59" West a distance of 50.00 feet; Thence along a curve to the left, (having a radius of 125.00 feet, and a chord bearing of South 49° 23' 19" East a distance of 3.22 feet) an arc distance of 3.22 feet; Thence South 52° 40' 48" West a distance of 123.18 feet; Thence South 37° 18' 18" East a distance of 132.09 feet;

Thence South 52° 41' 42" West a distance of 67.11 feet to the **POINT OF BEGINNING**;  
Said described tract contains 732,427.42 square or 16.8142 acres, more or less.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove South, Phase 4, filed on December 31, 2013, and recorded in Book 71 Plats, at Page 34, *et. seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-15

### Legal Description of The Grove, Phase XI

A tract of land being a part of the Southeast Quarter (SE/4) and Southwest Quarter (SW/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southeast (SE) Corner of said Southeast Quarter (SE/4);  
THENCE South 89°46'02" West, along and with the South line of said Southeast Quarter (SE/4), a distance of 1,782.96 feet to the Southwest (SW) Corner of the plat THE GROVE PHASE VIII recorded in Book PL74, Page 42, said point being the POINT OF BEGINNING;  
THENCE continuing South 89°46'02" West, along and with the South line of said Southeast Quarter (SE/4), a distance of 129.34 feet;  
THENCE North 39°35'49" West, departing said South line, a distance of 663.54 feet;  
THENCE North 71°53'06" West, a distance of 350.95 feet;  
THENCE North 66°56'45" West, a distance of 364.92 feet;  
THENCE South 89°47'54" West, a distance of 734.22 feet;  
THENCE North 00°09'56" West, a distance of 523.89 feet;  
THENCE North 30°43'12" West, a distance of 782.38 feet;  
THENCE North 61°26'53" East, a distance of 270.39 feet;  
THENCE North 29°18'07" West, a distance of 13.00 feet;  
THENCE North 60°41'53" East, a distance of 370.32 feet to a point on the extended West line of the plat THE GROVE SOUTH PHASE 4 recorded in Book PL71, Page 34;  
THENCE along and with the West line of said plat THE GROVE SOUTH PHASE 4 the following three (3) calls:  
1. South 36°07'10" East, a distance of 1,035.49 feet;  
2. South 39°35'20" East, a distance of 436.70 feet;  
3. North 52°41'42" East, a distance of 67.11 feet to a point on the West line of the plat THE GROVE SOUTH PHASE 2 recorded in Book PL69, Page 33;  
THENCE along and with the West line of said plat THE GROVE SOUTH PHASE 2 the following three (3) calls:  
1. South 37°18'18" East, a distance of 595.48 feet;  
2. South 18°05'27" West, a distance of 50.00 feet;  
3. on a non-tangent curve to the right having a radius of 575.00 feet, a chord bearing of North 71°48'06" West, a chord length of 2.16 feet and an arc length of 2.16 feet to the Northwest (NW) Corner of said plat THE GROVE PHASE VIII;  
THENCE South 39°35'49" East, along and with the West line of said plat THE GROVE PHASE VIII, a distance of 811.97 feet to the POINT OF BEGINNING.

Containing 1,465,273 square feet or 33.6380 acres, more or less.

AND

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being a portion of Common Area "D" of the plat THE GROVE SOUTH PHASE 3 recorded in Book PL71, Page 49, being more particularly described as follows:



Beginning at the Southwest (SW) Corner of Lot One (1) Block Thirteen (13) of said plat THE GROVE SOUTH PHASE 3, said point being the POINT OF BEGINNING;

THENCE along and with the south line of said Lot One (1) Block Thirteen (13) the following two (2) calls:

1. South 45°47'20" East, a distance of 171.07 feet;
2. South 40°20'19" East, a distance of 35.56 feet to the Southeast (SE) Corner of said Lot One (1) Block Thirteen (13);

THENCE South 00°15'48" East, along and with the East line of said Common Area "D", a distance of 93.20 feet to a point on the extended North line of Lot Seventeen (17) Block Ten (10) of said plat THE GROVE PHASE 3;

THENCE North 40°20'19" West, along and with the extended North line of said Lot Seventeen (17) Block Ten (10), a distance of 83.17 feet to the Northeast (NE) Corner of said Lot Seventeen (17) Block Ten (10);

THENCE along and with the North line of said Lot Seventeen (17) Block Ten (10) the following two (2) calls:

1. North 40°20'19" West, a distance of 20.84 feet;
2. North 45°47'20" West, a distance of 116.18 feet to a point on the East right-of-way line of Camborne Avenue;

THENCE along and with the East right-of-way line of Camborne Avenue the following two (2) calls:

1. on a non-tangent curve to the left having a radius of 275.00 feet, a chord bearing of North 05°09'25" East, a chord length of 51.97 feet and an arc length of 52.05 feet;
2. North 00°15'55" West, a distance of 27.53 feet to the POINT OF BEGINNING.

Containing 12,695 square feet or 0.2914 acres, more or less.

AND

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being a portion of Common Area "E" of the plat THE GROVE SOUTH PHASE 3 recorded in Book PL71, Page 49, being more particularly described as follows:

Beginning at the Northeast (NE) Corner of Lot One (1) Block Eleven (11) of said plat THE GROVE SOUTH PHASE 3, said point being the POINT OF BEGINNING;

THENCE North 45°47'20" West, along and with the North line of Lots One (1), Two (2), Three (3) and Four (4) Block Eleven (11) of said plat THE GROVE SOUTH PHASE 3, a distance of 148.52 feet;

THENCE North 44°12'40" East, departing said North line, a distance of 60.00 feet to a point on the South line of Lot One (1) Block Twelve (12) of said plat THE GROVE SOUTH PHASE 3;

THENCE South 45°47'20" East, along and with the South line of said Lot One (1) Block Twelve (12), a distance of 89.77 feet to a point on the West right-of-way line of Camborne Avenue;

THENCE along and with the West right-of-way line of Camborne Avenue the following two (2) calls:

1. South 00°15'55" East, a distance of 76.62 feet;
2. on a curve to the right having a radius of 225.00 feet, a chord bearing of South 00°40'14" West, a chord length of 7.35 feet and an arc length of 7.35 feet to the POINT OF BEGINNING.

Containing 7,154 square feet or 0.1642 acres, more or less.

AND

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being a portion of Common Area "W" of the plat THE GROVE PHASE IX recorded in Book PL74, Page 76, being more particularly described as follows:

Beginning at the Southeast (SE) Corner of Lot Five (5) Block Thirty-one (31) of said plat THE GROVE PHASE IX, said point being the POINT OF BEGINNING;  
THENCE South 44°12'40" West, along and with the extended East line of said Lot Five (5) Block Thirty-one (31), a distance of 59.75 feet to a point on the North line of Lot Two (2) Block Thirty (30) of said plat THE GROVE PHASE IX;  
THENCE North 45°47'20" West, along and with the North line of Lots Two (2), Three (3) and Four (4) of said Block Thirty (30), a distance of 147.00 feet to a point on the East right-of-way line of N.W. 183<sup>rd</sup> Court;  
THENCE along and with the East right-of-way line of N.W. 183<sup>rd</sup> Court the following three (3) calls:  
1. North 44°12'40" East, a distance of 32.50 feet;  
2. on a curve to the right having a radius of 25.00 feet, a chord bearing of North 68°18'22" East, a chord length of 20.41 feet and an arc length of 21.03 feet;  
3. on a reverse curve to the left having a radius of 50.00 feet, a chord bearing of North 85°47'38" East, a chord length of 11.51 feet and an arc length of 11.53 feet to the Southwest (SW) Corner of said Lot Five (5) Block Thirty-one (31);  
THENCE South 45°47'27" East, along and with the South line of said Lot Five (5) Block thirty-one (31), a distance of 131.03 feet to the POINT OF BEGINNING.

Containing 8,628 square feet or 0.1981 acres, more or less.

AND

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being a portion of Common Area "X" of the plat THE GROVE PHASE IX recorded in Book PL74, Page 76, being more particularly described as follows:

Beginning at the Southwest (SW) Corner of Lot One (1) Block Thirty-one (31) of said plat THE GROVE PHASE IX, said point being the POINT OF BEGINNING;  
THENCE South 45°47'20" East, along and with the South line of said Lot One (1) Block Thirty-one (31), a distance of 131.03 feet to the Southeast (SE) Corner of said Lot One (1) Block Thirty-one (31);  
THENCE along and with the West right-of-way line of N.W. 183<sup>rd</sup> Court the following three (3) calls:  
1. on a non-tangent curve to the left having a radius of 50.00 feet, a chord bearing of South 02°37'43" West, a chord length of 11.51 feet and an arc length of 11.53 feet;  
2. on a reverse curve to the right having a radius of 25.00 feet, a chord bearing of South 20°06'59" West, a chord length of 20.41 feet and an arc length of 21.03 feet;  
3. South 44°12'40" West, a distance of 32.50 feet to the Northeast (NE) Corner of Lot One (1) Block Thirty-two (32) of said plat THE GROVE PHASE IX;  
THENCE North 45°47'20" West, along and with the North line of Lots One (1), Two (2) and Three (3) of said Block Thirty-two (32), a distance of 147.00 feet to the extended West line of said Lot One (1) Block Thirty-one (31);  
THENCE North 44°12'40" East, along and with the extended West line of said Lot One (1) Block thirty-one (31), a distance of 59.74 feet to the POINT OF BEGINNING.

Containing 8,628 square feet or 0.1981 acres, more or less.

AND

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being a portion of Common Area "X" of the plat THE GROVE PHASE IX recorded in Book PL74, Page 76, being more particularly described as follows:

Beginning at the Southeast (SE) Corner of Lot One (1) Block Thirty-three (33) of said plat THE GROVE SOUTH PHASE IX, said point being the POINT OF BEGINNING;  
THENCE South 44°24'23" West, along and with the extended East line of said Lot One (1) Block Thirty-three (33), a distance of 59.74 feet to a point on the North line of Lot Five (5) Block thirty-two (32) of said plat THE GROVE PHASE IX;  
THENCE North 45°47'20" West, along and with the North line of Lots Five (5), Six (6) and Seven (7) of said Block Thirty-two (32), a distance of 138.15 feet to a point on the East right-of-way line of N.W. 184<sup>th</sup> Terrace;  
THENCE along and with the East right-of-way line of N.W. 184<sup>th</sup> Terrace on a non-tangent curve to the left having a radius of 275.00 feet, a chord bearing of North 36°55'59" East, a chord length of 60.23 feet and an arc length of 60.35 feet to the Southwest (SW) Corner of said Lot One (1) Block Thirty-three (33);  
THENCE South 45°47'20" East, along and with the South line of said Lot One (1) Block Thirty-three (33), a distance of 145.98 feet to the POINT OF BEGINNING.

Containing 8,427 square feet or 0.1935 acres, more or less.

AND

A tract of land being a part of the Northeast Quarter (NE/4) and Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being all of Common Area "Y" of the plat THE GROVE PHASE IX recorded in Book PL74, Page 76, being more particularly described as follows:

Beginning at the Northeast (NE) Corner of Lot One (1) Block thirty-four (34) of said plat THE GROVE PHASE IX, said point being the POINT OF BEGINNING;  
THENCE North 45°47'20" West, along and with the North line of Lots One (1) and Two (2) of said Block Thirty-four (34), a distance of 114.95 feet to a point on the West line of said plat THE GROVE PHASE IX;  
THENCE North 44°12'40" East, along and with the West line of said plat THE GROVE PHASE IX, a distance of 59.74 feet to a point on the South line of Lot Nine (9) Block Thirty-three (33) of said plat THE GROVE PHASE IX;  
THENCE South 45°47'20" East, along and with the South line of said Lot Nine (9) Block Thirty-three (33), a distance of 105.55 feet to the Southeast (SE) Corner of said Lot Nine (9) Block Thirty-three (33);  
THENCE along and with the West right-of-way line of N.W. 184<sup>th</sup> Terrace on a non-tangent curve to the right having a radius of 225.00 feet, a chord bearing of South 35°16'33" West, a chord length of 60.48 feet and an arc length of 60.66 feet to the POINT OF BEGINNING.

Containing 6,669 square feet or 0.1531 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83). The South line of the Southeast Quarter (SE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West having a bearing of South 89°46'02" West.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase XI, filed on August 7, 2019, and recorded in Book 78 Plats, at Page 7, *et. seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-16

### Legal Description of The Grove, Phase XII

A tract of land being a part of the Northeast Quarter (NE/4), Northwest Quarter (NW/4) and Southwest Quarter (SW/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma and being all of Lot Twenty-three (23) Block Thirty-eight (38), all of Common Area "AA", and all of Lot One (1) Block Thirty-Seven (37) of the plat THE GROVE PHASE X recorded in Book PL74, Page 98, being more particularly described as follows:

Commencing at the Northeast (NE) Corner of said Northeast Quarter (NE/4);

THENCE South 00°15'55" East, along and with the East line of said Northeast Quarter (NE/4), a distance of 2,241.02 feet;

THENCE South 89°44'05" West, departing said East line, a distance of 1,956.87 feet to the Southernmost Corner of Lot Twenty-five (25) Block Nine (9) of the plat THE GROVE PHASE IV recorded in Book PL70, Page 84, said point lying on the North line of said plat THE GROVE PHASE X, said point being the POINT OF BEGINNING;

THENCE South 45°22'28" East, along and with the North line of said plat THE GROVE PHASE X, a distance of 76.35 feet to the Northwest (NW) Corner of Lot One (1) Block Thirty-seven (37) of said plat THE GROVE PHASE X;

THENCE North 68°09'33" East, along and with the North line of said Lot One (1) Block Thirty-seven (37), a distance of 106.60 feet to the Northwest (NW) Corner of Lot Two (2) of said Block Thirty-seven (37);

THENCE South 21°49'17" East, along and with the West line of said Lot Two (2) Block Thirty-seven (37), a distance of 120.00 feet to the Southwest (SW) Corner of said Lot Two (2) Block Thirty-seven (37);

THENCE South 68°09'33" West, along and with the North right-of-way line of Groveton Boulevard, a distance of 215.07 feet to the Southeast (SE) Corner of Lot Twenty-two (22) Block Thirty-eight (38) of said plat THE GROVE PHASE X;

THENCE North 21°50'27" West, along and with the East line of said Lot Twenty-two (22) Block Thirty-eight (38), a distance of 120.00 feet to the Northeast (NE) Corner of said Lot Twenty-two (22) Block Thirty-eight (38);

THENCE along and with the North line of said plat THE GROVE PHASE X the following three (3) calls:

1. South 68°09'33" West, a distance of 691.15 feet;
2. South 59°32'03" West, a distance of 245.64 feet;
3. South 60°41'53" West, a distance of 65.09 feet;

THENCE North 29°18'07" West, departing said North line, a distance of 190.00 feet;

THENCE North 60°41'53" East, a distance of 46.65 feet;

THENCE North 29°18'07" West, a distance of 50.00 feet;

THENCE North 74°18'07" West, a distance of 35.36 feet;

THENCE North 29°18'07" West, a distance of 33.00 feet;

THENCE on a curve to the right having a radius of 475.00 feet, a chord bearing of North 27°19'20" West, a chord length of 32.82 feet and an arc length of 32.82 feet;

THENCE North 25°20'33" West, a distance of 99.63 feet;

THENCE on a curve to the left having a radius of 525.00 feet, a chord bearing of North 34°36'16" West, a chord length of 169.00 feet and an arc length of 169.74 feet;

THENCE North 43°52'00" West, a distance of 4.24 feet;

THENCE North 03°13'33" East, a distance of 34.04 feet;

THENCE North 43°49'06" West, a distance of 50.73 feet;  
THENCE North 87°36'55" West, a distance of 36.12 feet;  
THENCE North 43°52'00" West, a distance of 133.13 feet;  
THENCE on a curve to the right having a radius of 275.00 feet, a chord bearing of North 34°09'24" West, a chord length of 92.76 feet and an arc length of 93.21 feet;  
THENCE North 23°06'54" East, a distance of 35.09 feet;  
THENCE North 21°27'20" West, a distance of 50.00 feet;  
THENCE North 68°32'40" East, a distance of 50.58 feet;  
THENCE North 21°27'20" West, a distance of 120.00 feet to a point on the South line of the plat THE GROVE PHASE VII recorded in Book 72 of plats, Page 99;  
THENCE along and with the South line of said plat THE GROVE PHASE VII the following four (4) calls:

1. North 68°32'40" East, a distance of 119.45 feet;
2. North 62°35'21" East, a distance of 238.53 feet;
3. on a non-tangent curve to the right having a radius of 125.00 feet, a chord bearing of North 25°09'06" East, a chord length of 14.20 feet and an arc length of 14.21 feet;
4. South 61°35'31" East, a distance of 50.00 feet to the Westernmost Corner of the plat THE GROVE RECREATION CENTER recorded in Book 67 of plats, Page 97;

THENCE along and with the South line of said plat THE GROVE RECREATION CENTER the following seven (7) calls:

1. South 16°35'31" East, a distance of 35.36 feet;
2. South 61°35'31" East, a distance of 30.44 feet;
3. on a curve to the right having a radius of 175.00 feet, a chord bearing of South 52°51'15" East, a chord length of 53.17 feet and an arc length of 53.38 feet;
4. South 44°06'59" East, a distance of 71.04 feet;
5. on a curve to the left having a radius of 170.00 feet, a chord bearing of South 58°47'09" East, a chord length of 86.10 feet and an arc length of 87.05 feet;
6. South 73°27'18" East, a distance of 23.34 feet;
7. North 40°49'36" East, a distance of 286.16 feet to a point on the West line of the plat THE GROVE PHASE II recorded in Book 66 of plats, Page 73;

THENCE along and with the West line and South line of said plat THE GROVE PHASE II the following two (2) calls:

1. South 45°22'28" East, a distance of 64.69 feet;
2. North 10°53'13" East, a distance of 6.01 feet to a point on the West line of said plat THE GROVE PHASE IV;

THENCE South 45°22'28" East, along and with the West line of said plat THE GROVE PHASE IV, a distance of 875.42 feet to the POINT OF BEGINNING.

Containing 963,388 square feet or 22.1163 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83). The East line of the Northeast Quarter (NE/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West having a bearing of South 00°15'55" East.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase XII, filed on March 7, 2019, and recorded in Book 77 Plats, at Page 59, *et. seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

## EXHIBIT A-17

### Legal Description of The Grove, Phase XIII

A tract of land being a part of the Northwest Quarter (NW/4) and Southwest Quarter (SW/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Northwest (NW) Corner of said Northwest Quarter (NW/4);  
THENCE South  $00^{\circ}15'25''$  East, along and with the West line of said Northwest Quarter (NW/4), a distance of 2,571.04 feet to the POINT OF BEGINNING;  
THENCE North  $89^{\circ}44'35''$  East, departing said West line, a distance of 50.00 feet;  
THENCE South  $45^{\circ}15'25''$  East, a distance of 35.36 feet;  
THENCE North  $89^{\circ}44'34''$  East, a distance of 750.02 feet;  
THENCE North  $00^{\circ}15'26''$  West, a distance of 401.85 feet;  
THENCE North  $58^{\circ}57'13''$  East, a distance of 165.94 feet;  
THENCE North  $36^{\circ}37'01''$  West, a distance of 446.64 feet;  
THENCE North  $53^{\circ}22'59''$  East, a distance of 100.00 feet;  
THENCE North  $05^{\circ}07'52''$  East, a distance of 590.25 feet to a point on the South line of the plat THE GROVE PHASE V recorded in Book 70 of plats, Page 38;  
THENCE along and with the South line of said plat THE GROVE PHASE V the following three (3) calls:

1. South  $88^{\circ}15'49''$  East, a distance of 332.83 feet;
2. North  $70^{\circ}25'12''$  East, a distance of 68.29 feet;
3. South  $27^{\circ}44'05''$  East, a distance of 175.08 feet to a point on the North line of the plat THE GROVE PHASE VII recorded in Book 72 of plats, Page 99;

THENCE along and with the North, West and South lines of said plat THE GROVE PHASE VII the following eight (8) calls:

1. South  $75^{\circ}40'07''$  West, a distance of 91.27 feet;
2. South  $25^{\circ}41'04''$  West, a distance of 161.76 feet;
3. South  $28^{\circ}31'24''$  East, a distance of 165.50 feet;
4. South  $20^{\circ}07'23''$  East, a distance of 108.33 feet;
5. South  $23^{\circ}27'10''$  East, a distance of 233.87 feet;
6. North  $68^{\circ}32'40''$  East, a distance of 251.23 feet;
7. North  $82^{\circ}53'44''$  East, a distance of 161.38 feet;
8. North  $68^{\circ}32'40''$  East, a distance of 149.98 feet;

THENCE South  $21^{\circ}27'20''$  East, departing said South line, a distance of 120.00 feet;  
THENCE South  $68^{\circ}32'40''$  West, a distance of 50.58 feet;  
THENCE South  $21^{\circ}27'20''$  East, a distance of 50.00 feet;  
THENCE South  $23^{\circ}06'54''$  West, a distance of 35.09 feet;  
THENCE on a non-tangent curve to the left having a radius of 275.00 feet, a chord bearing of South  $34^{\circ}09'24''$  East, a chord length of 92.76 feet and an arc length of 93.21 feet;  
THENCE South  $43^{\circ}52'00''$  East, a distance of 133.13 feet;  
THENCE South  $87^{\circ}36'55''$  East, a distance of 36.12 feet;  
THENCE South  $43^{\circ}49'06''$  East, a distance of 50.73 feet;  
THENCE South  $03^{\circ}13'33''$  West, a distance of 34.04 feet;  
THENCE South  $43^{\circ}52'00''$  East, a distance of 4.24 feet;  
THENCE on a curve to the right having a radius of 525.00 feet, a chord bearing of South  $34^{\circ}36'16''$  East, a chord length of 169.00 feet and an arc length of 169.74 feet;

THENCE South 25°20'33" East, a distance of 99.63 feet;  
THENCE on a curve to the left having a radius of 475.00 feet, a chord bearing of South 27°19'20" East, a chord length of 32.82 feet and an arc length of 32.82 feet;  
THENCE South 29°18'07" East, a distance of 33.00 feet;  
THENCE South 74°18'07" East, a distance of 35.36 feet;  
THENCE South 29°18'07" East, a distance of 50.00 feet;  
THENCE South 60°41'53" West, a distance of 46.65 feet;  
THENCE South 29°18'07" East, a distance of 190.00 feet to a point on the North line of the plat THE GROVE PHASE X recorded in Book PL74, Page 98;  
THENCE South 60°41'53" West, along and with the North line of said plat THE GROVE PHASE X, a distance of 349.62 feet to a point on the East line of the plat THE GROVE SOUTH PHASE 4 recorded in Book PL71, Page 34;  
THENCE North 37°19'12" West, along and with the East line of said plat THE GROVE SOUTH PHASE 4, a distance of 0.32 feet to the Northeast (NE) Corner of said plat THE GROVE SOUTH PHASE 4;  
THENCE South 60°41'53" West, along and with the North line of said plat THE GROVE SOUTH PHASE 4, a distance of 357.78 feet to the Northwest (NW) Corner of said plat THE GROVE SOUTH PHASE 4;  
THENCE North 36°07'10" West, a distance of 70.18 feet;  
THENCE South 60°41'53" West, a distance of 370.32 feet;  
THENCE South 29°18'07" East, a distance of 13.00 feet;  
THENCE South 61°26'53" West, a distance of 270.39 feet;  
THENCE North 30°43'12" West, a distance of 10.60 feet;  
THENCE North 59°45'14" West, a distance of 438.00 feet;  
THENCE North 00°15'17" West, a distance of 398.89 feet;  
THENCE South 89°44'34" West, a distance of 720.00 feet;  
THENCE South 44°44'38" West, a distance of 35.36 feet;  
THENCE South 89°44'43" West, a distance of 50.00 feet to a point on the West line of said Southwest Quarter (SW/4);  
THENCE North 00°15'17" West, along and with the West line of said Southwest Quarter (SW/4), a distance of 64.99 feet to the Northwest (NW) Corner of said Southwest Quarter (SW/4);  
THENCE North 00°15'25" West, along and with the West line of said Northwest Quarter (NW/4), a distance of 65.00 feet to the POINT OF BEGINNING.

Containing 2,113,357 square feet or 48.5160 acres, more or less.

AND

A tract of land being a part of the Northwest Quarter (NW/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being all of Common Area "T" as shown on the plat THE GROVE PHASE VII recorded in Book 72 of plats, Page 99, being more particularly described as follows:

Beginning at the Northeast (NE) Corner of Lot One (1) Block twenty-one (21) of said plat THE GROVE PHASE VII, said point being the POINT OF BEGINNING;  
THENCE North 44°11'44" East, along and with the North line of said Common Area "T", a distance of 60.00 feet;  
THENCE South 45°48'16" East, along and with the East line of said Common Area "T", a distance of 77.44 feet;  
THENCE North 69°17'40" East, continuing along and with the East line of said Common Area "T", a distance of 12.48 feet to a point on the West right-of-way line of Hill Valley Way;  
THENCE along and with the West right-of-way line of Hill Valley Way on a non-tangent curve to the



right having a radius of 75.00 feet, a chord bearing of South 13°02'12" West, a chord length of 83.32 feet and an arc length of 88.34 feet to the Southeast (SE) Corner of said Lot One (1) Block Twenty-one (21); THENCE North 45°48'16" West, along and with the East line of said Lot One (1) Block Twenty-one (21), a distance of 125.85 feet to the POINT OF BEGINNING.

Containing 7,245 square feet or 0.1663 acres, more or less.

AND

A tract of land being a part of the Northwest Quarter (NW/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being a portion of Common Area "U" as shown on the plat THE GROVE PHASE VII recorded in Book 72 of plats, Page 99, being more particularly described as follows:

Beginning at the Westernmost Corner of Lot Two (2) Block Twenty-two (22) of said plat THE GROVE PHASE VII, said point being the POINT OF BEGINNING;  
THENCE South 45°48'16" East, along and with the South line of said Lot Two (2) Block Twenty-two (22), a distance of 57.27 feet;  
THENCE North 84°18'15" East, continuing along and with the South line of said Lot Two (2) Block Twenty-two (22), a distance of 135.16 feet to a point on the West right-of-way line of Bloomfield Place;  
THENCE along and with the West right-of-way line of Bloomfield Place on a non-tangent curve to the left having a radius of 1,030.00 feet, a chord bearing of South 12°08'07" East, a chord length of 41.16 feet and an arc length of 41.16 feet;  
THENCE South 57°21'46" West, departing said West right-of-way line, a distance of 144.35 feet to a point on the East line of Lot Four (4) Block Twenty-two (22) of said plat THE GROVE PHASE VII;  
THENCE North 45°48'16" West, along and with the East line of Lots Four (4) and Three (3) of said Block Twenty-two (22), a distance of 132.20 feet to the Northernmost Corner of said Lot Three (3) Block Twenty-two (22);  
THENCE along and with the South right-of-way line of Hill Valley Way on a non-tangent curve to the left having a radius of 125.00 feet, a chord bearing of North 31°30'13" East, a chord length of 61.50 feet and an arc length of 62.14 feet to the POINT OF BEGINNING.

Containing 15,487 square feet or 0.3555 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83). The West line of the Northwest Quarter (NW/4) of Section Twenty-five (25), Township Fourteen (14) North, Range Four (4) West having a bearing of South 00°15'25" East.

The foregoing property is otherwise known and described as all of the real property included in the Final Plat of The Grove, Phase XIII, filed on August 23, 2019, and recorded in Book 78 Plats, at Page 24, *et seq.*, in the Office of the County Clerk of Oklahoma County, State of Oklahoma.

**EXHIBIT B**  
**TO THE SECOND AMENDMENT TO THE**  
**AMENDED AND FULLY RESTATED DECLARATION OF COVENANTS AND**  
**RESTRICTIONS OF**  
**THE GROVE ADDITION TO THE CITY OF OKLAHOMA CITY,**  
**OKLAHOMA COUNTY, STATE OF OKLAHOMA**

**THE SECOND AMENDED AND FULLY RESTATED ARCHITECTURAL AND**  
**DESIGN RULES ADOPTED BY THE DESIGN REVIEW COMMITTEE OF**  
**THE GROVE ADDITION**

(These Rules may be further amended from time-to-time and any such amended rules shall have the same force and effect as if fully set forth herein.)

The following uses and restrictions are hereby adopted by the Design Review Committee as a guide for the review and approval of any Improvement upon any Lot or Common Areas. These rules are intended as a guide to the Design Review Committee in order to maintain the harmony, character and charm of The Grove Addition (“The Grove”) and to enhance the value of each Lot and the neighborhood as a whole. The rules may be amended at any time as provided in the Amended and Fully Restated Declaration of Covenants and Restrictions of The Grove Addition in the City of Oklahoma City, Oklahoma County, State of Oklahoma (“Amended and Restated Declaration”). The Grove Addition shall specifically include The Grove, Phase I Addition; The Grove, Phase II Addition; The Grove, Phase III Addition; The Grove, Phase IV Addition; The Grove, Phase V Addition; The Grove Phase VI Addition; The Grove, Phase VII Addition; The Grove, Phase VIII Addition; The Grove, Phase IX Addition; The Grove, Phase X Addition; The Grove, Phase XI Addition; The Grove, Phase XII Addition; The Grove, Phase XIII Addition; The Grove South, Phase 1 Addition; The Grove South, Phase 2 Addition; The Grove South, Phase 3 Addition; The Grove South, Phase 4 Addition, and any other property subsequently annexed to the Amended and Restated Declaration pursuant to Article X of the Amended and Restated Declaration, which is being filed in the Office of the County Clerk of Oklahoma County, State of Oklahoma, this same date. These Amended and Fully Restated Architectural and Design Rules are Exhibit B to the Second Amendment to the Amended and Restated Declaration. All terms capitalized and otherwise not specifically defined in these Rules shall have the meaning given to such terms in the Amended and Restated Declaration.

**I. Limitation of Liability for Approval of Plans.** Review and approval of any application is made primarily on the basis of aesthetic considerations and the Declarant, Association, Board and/or Design Review Committee shall NOT bear any responsibility for ensuring the structural integrity or soundness of approved new construction or construction modifications, nor for ensuring compliance with building codes and other governmental requirements. Neither the Declarant, Association, Board nor the Design Review Committee, or any member thereof, shall be held liable for any injury, damages or loss arising out of the manner, quality and/or suitability of approved new construction or construction modification occurring on any Lot.

**II. Minimum Rules and Restrictions Applicable to All Lots.** The following rules and regulations shall apply to all of the Lots in The Grove Addition:

a. Submission of Plans for Approval. No construction or erection of any nature whatsoever shall be commenced or maintained upon any Lot or the Common Areas (except as is installed or approved by the Declarant in connection with the initial construction of structures or buildings on the property); nor shall any exterior addition to, or change or alteration thereon, be made unless and until plans and specifications showing the nature, kind, shape, color, height, materials and location of the same shall have been submitted to the Design Review Committee and approved in writing by the Design Review Committee as to the harmony of external design and location in relation to surrounding structures and topography. A detailed description or samples of exterior building materials (i.e., brick, stone, roofing, paint, siding and trim) shall be presented to the Design Review Committee along with the plans and specifications. Applicants seeking approval of the Design Review Committee shall submit a duplicate application on the form attached hereto accompanied by all required documentation in duplicate.

b. Landscaping and Lawns. Landscaping is an essential element of design at The Grove. Except as otherwise approved in writing by the Design Review Committee, the Owner of each Lot shall be required to expend the minimum sum of ½ of 1% of the total cost of the Home and Lot for trees and shrubs or perennial plants to be placed on each Lot owned. There shall be a minimum of one (1) 3” caliper shade tree, one (1) 1½” caliper ornamental tree and ten (10) 3-gallon shrubs on each Lot owned. For all corner Lots, an additional 3” caliper shade tree will be required in each side yard for a total of three (3) trees. Unless an extension is approved by the Design Review Committee, the expenditure must be made and the trees and shrubs planted either: (i) within thirty (30) days after the date a certificate of occupancy is issued for the Lot; or (ii) if the Lot Owner is a licensed builder (“Builder”), then prior to transfer of possession of the Lot from the Builder/Owner to a subsequent buyer, whichever is applicable. If both (i) and (ii) are applicable, then whichever date first occurs. No amount paid for grass, dirt, sprinkler systems, etc. shall qualify for this minimum expenditure. No removal of landscaping (other than replacement of dead trees or shrubs with equivalent trees or shrubs) shall take place without the approval of the Design Review Committee. Builders may submit typical landscaping plans to the Design Review Committee for pre-approval for a series of homes in a particular subdivision. Once pre-approved in writing, it shall be necessary for a Builder to submit individual plans only in the event of substantial deviation from pre-approved landscaping plans. Front and side yards shall be sodded with grass within thirty (30) days after the date a certificate of occupancy is issued for a Lot. On Lots adjacent to main thoroughfares within The Grove, the Design Review Committee may, in its discretion, require additional landscaping and features than would otherwise be required.

c. Exterior. Design Review Committee approval is not required for exterior lighting if the lighting is installed in accordance with the following guidelines: Exterior lights shall be conservative in design and as small in size as is reasonably practical. Exterior lighting shall be directed toward the house and be of low wattage (limited to 2,000 lumens) to minimize glaring sources to neighbors and other homeowners. Lighting for walkways generally must be directed toward the ground. Lighting fixtures shall be dark colored so as to be less obtrusive. Low voltage (12 volts) lighting is preferable to conventional house-voltage systems because of its safety advantages. Any deviation from the aforementioned guidelines or use of high-wattage spotlight,

floodlights or ballasted fixtures (sodium, mercury, multi-vapor, fluorescent, metal halide, etc.) requires reviewer approval. The Design Review Committee may take into consideration the visibility and style of the fixture and its location on the home.

d. Architectural Styles. The Design Review Committee shall have the ultimate authority and discretion in approving the architectural styles of structures in The Grove and may in this regard make the final determination whether the style of home proposed is in harmony with the atmosphere of the development and in conformity with the intent of the Design Review Committee.

e. Roof Construction. In addition to the approval of the Plans and Specifications for construction of buildings and structures on any Lot, all roofs and roof materials shall be specifically submitted, by separate letter, to the Design Review Committee for their review and written approval prior to construction of the structure or installation of roofing material. Acceptable roofing materials shall include, but not be limited to, 25 year roofing material of composite shingle or other roofing materials approved by the Design Review Committee.

f. Fences and Retaining Walls. No fence or retaining wall shall be constructed or installed until the location, design, style, material and quality of same shall have been approved by the Design Review Committee. The Design Review Committee may prevent fencing from being erected or maintained upon any Lot to the extent said fencing may interfere with or is inconsistent with the appearance of nearby Common Areas or other features of the Grove. Property perimeter fences shall not exceed six feet six inches in height, unless a variance is granted by the Design Review Committee. Fencing erected or maintained upon any Lot shall be dog-eared and made of pine or cedar, unless a variance is granted by the Design Review Committee or unless otherwise required by the Design Review Committee. Fences may be constructed in side or rear yards with the written approval of the Design Review Committee. Owners are prohibited from erecting and maintaining chain link fences in the Grove, except that Declarant shall have the right to erect and maintain chain link fencing upon the Common Areas in places deemed appropriate by Declarant. Except as otherwise provided in the preceding sentence, the following lots shall be required to have wrought iron style fencing (i.e. aluminum fencing with a similar appearance to wrought iron) along the rear property line of each Lot for the portion of the rear property line that backs up to a greenbelt, unless a variance is granted by the Design Review Committee: Lot 2 of Block 6 of The Grove Phase I, Lots 1 through 22 of Block 8 of The Grove Phase III, Lots 6 through 22 of Block 9 of The Grove Phase IV, Lots 19 through 30 of Block 12 of The Grove Phase V, Lots 4 through 17 of Block 16 of The Grove Phase VI, Lots 9 through 15 of Block 19 of The Grove Phase VI, Lots 1 through 12 of Block 21 of The Grove Phase VII, Lots 1 through 5 of Block 31 of The Grove Phase IX, Lots 1 through 6 of Block 33 of The Grove Phase IX, Lots 5 through 7 of Block 37 of The Grove Phase X, Lot 1 of Block 48 of The Grove Phase XI, Lot 1 of Block 49 of The Grove Phase XI, Lots 1 through 20 of Block 58 of the Grove Phase XIII, Lots 1 through 12 of Block 61 of The Grove Phase XIII, Lots 6 through 16 of Block 63 of The Grove Phase XIII, Lots 1 through 7 of Block 64 of The Grove Phase XIII and Lot 1 of Block 65 of The Grove Phase XIII.

Any fences, whether constructed by a Lot owner or a Builder, shall be well repaired and maintained. In the event a fence or wall is damaged, deteriorated or destroyed, the Lot owner shall repair or recondition the fence or wall at the Lot owner's expense, except for any retaining

wall or fence located on a Lot and expressly designated in the Amended and Restated Declaration to be an improvement to be maintained, repaired or replaced by the Grove Master Homeowners Association. For any such retaining wall or fence, the Association shall repair or recondition the fence or wall at the Association's expense.

g. Construction Period. Upon commencement of excavation for construction on any Lot or Lots, the work must be continuous, weather permitting, until the Residence and other Improvements are completed. Completion of Construction shall occur no later than ten (10) months from the date of Commencement of Construction, unless extensions of time are granted by the Design Review Committee. If no such extension of time is given by the Design Review Committee, or if the Design Review Committee determines in its discretion that Completion of Construction cannot reasonably be expected to occur within the time remaining therefor, the Declarant or its designee may, but shall not be obligated to, complete such construction at the expense of the Owner.

h. Roof Pitch. Roof pitch minimum shall be 6/12 pitch.

i. Structure. The foundation of structures shall either be (a) a footing and stem wall foundation; or (b) a post-tension foundation.

j. Certain Satellite Dishes Permitted. Standard satellite dishes satisfying all of the following requirements may be installed upon a Lot without first obtaining Design Review Committee approval: (i) the satellite dish shall be equal to or less than thirty-six (36) inches in diameter; (ii) the satellite dish shall be attached to the roof of the residence; and (iii) the satellite dish shall not be visible to a person six feet tall, standing at the center of the front property line of the Lot upon which the satellite dish is situated. Satellite dishes failing to meet all of aforementioned requirements shall not be erected, used or maintained outdoors on any Lot without the prior written consent of the Design Review Committee.

k. Pool Cabanas and Detached Buildings. No metal buildings, tents, trailers or temporary structures shall be permitted to be erected or maintained within the Project. Provided, however, pool cabanas, studios, guest cottages, gazebos, greenhouses and other outbuildings may be constructed and maintained after the plans, specifications, design, size and location of same have been approved in writing by the Design Review Committee. Such structures must correspond in style and architecture to the principal residence and must exist in harmony in relation to neighboring living dwellings and property. No commercial business will be allowed in any Detached Building. Detached Buildings shall be no larger than ten feet (10') in depth by ten feet (10') in width and eight feet (8') in height, unless a variance is issued by the Design Review Committee.

l. Treehouses and Playground Equipment. Treehouses or platforms in trees are prohibited. No play towers or other similar structures or equipment shall be located in front of the front building limit line or within fifteen (15) feet of any Lot boundary.

m. Garages. Garages shall be attached to the Residence, unless a variance is issued. Garages shall be compatible with and complementary to the main residence in architectural style, material, color and location. Each Residence shall have a minimum garage capacity of two cars

and a maximum garage capacity of three cars, unless a variance is granted prior to construction of the Residence by the Design Review Committee. Model Homes may have sales offices in the garage, so long as they are converted back to a traditional garage before the Model Home is sold.

n. Basketball Goals and Sports Equipment. Basketball hoops/goals attached to the home or garage are prohibited. Permanent or temporary basketball goals that are not attached to the home or garage are permitted as long as they are well maintained by the Lot Owner. No Design Review Committee approval is required for the installation of play and sports equipment in fenced-in rear and side yards that is no taller than seven (7) feet. Owners shall exercise consideration towards neighbors; any such equipment shall be set back a reasonable distance from adjacent property lines so as to avoid disturbance of neighbors.

o. Signs. In addition to those requirements and rights set forth in the Amended and Restated Declaration, placement of any sign on a Lot shall be governed by the following rules, as follows:

1. Builder or Trade Signs. One builder sign and permit board shall be allowed with Design Review Committee approval; however, no subcontractor or trade signs shall be permitted. Without prior Design Review Committee's approval, a single Realtor or For Sale by Owner sign may be placed on a property while the property is "for sale" and a single Open House sign may be placed on a property during an Open House but must be removed promptly after the event. At no time will a Realtor or Builder sign be placed at any location in The Grove except on the Owner's Lot without the approval of the Design Review Committee. Builder and Realtor signs are subject to review as to location, color, size and detailing. A builder sign shall be erected on the Lot prior to the commencement of any work, including clearing or grading. Builder and Realtor signs shall be securely erected and no signs or permits shall be placed in trees. The builder, Realtor and For Sale by Owner signs shall be removed within 5 days of the closing of a Lot unless a longer period is granted in advance by the Design Review Committee.

2. Security Signs. One security sign may be permitted without the Design Review Committee's prior approval in the front yard located either adjacent to the driveway or in close proximity to the front entrance of the main dwelling. The Design Review Committee may impose size, shape and color restrictions on security signs.

3. For Rent or For Lease Signs Prohibited. For Rent and/or For Lease signs, or any signs of similar nature or import, shall not be placed on any Lot or property in The Grove Addition for any reason, at any time. The placement of those type of signs anywhere in The Grove Addition is absolutely prohibited, without the express prior written approval of the Design Review Committee.

Installation or relocation of all signs other than set forth above or other than provided for in the Amended and Restated Declaration requires Design Committee approval. Additionally, the Design Review Committee shall have the right to demand and require any Owner to remove any sign from any Lot, regardless of whether said sign complies with the technical requirements of the Amended and Restated Declaration or these Rules. Should the Owner fail to immediately comply with a demand for removal of a sign, the Design Committee shall have any and all rights

of enforcement granted in the Amended and Restated Declaration including without limitation the right of self-help to remove any sign after reasonable demand is made.

p. Erosion Control. During construction of any improvements on any Lot, erosion control must be maintained by the Owner/Builder to control runoff onto the street, common areas or adjoining property.

q. Mailboxes. Each mailbox shall be 100% brick or stone and shall conform to the Design Review Committee's specifications, which are available upon request. Additional structures or features are prohibited without approval of the Design Review Committee. Newspaper tubes are prohibited.

r. Chimneys. Chimneys will be built in strict compliance with all of the applicable City of Oklahoma City rules and regulations which pertain thereto.

s. Yard Ornaments. No sculpture or lawn ornaments of any kind will be permitted in yards visible from the street without the written consent of the Design Review Committee.

t. Carports and Clotheslines. No clotheslines shall be installed, placed, erected or maintained on any Lot. No carports shall be installed, placed, erected or maintained on any Lot, without the Design Review Committee's prior approval. Any carports submitted for Design Review Committee approval are encouraged to be entirely located behind the frontline of the Residence.

u. Dog Related Structure: No animal structure shall provide shelter for more than three (3) dogs over six (6) months of age. One dog-related structure is permitted without Design Review Committee approval so long as the structure is not Visible From Neighboring Property (as that term is defined in the Amended and Restated Declaration). If a dog-related structure is Visible From Neighboring Property, then Design Review Committee approval is required and screening, fencing or landscaping may be required by the Committee prior to any approval.

v. Birdbaths, Birdhouses and Birdfeeders: Design Review Committee approval is not required for one rear yard installation of any birdhouse or birdfeeder no more than 12 by 24 inches in size. Design Review Committee approval is not required for one rear yard installation of a birdbath that is no more than 30 inches in height, including any pedestal. The installation of birdbaths, birdhouses and birdfeeders in front or side yards and/or the installation of multiple birdbaths, birdhouses or birdfeeders requires approval by the Design Review Committee.

w. Flagpoles: Design Review Committee approval is not required for the installation of a single flagpole so long as it does not exceed 20 feet above finished grade. If located in the front yard, a flagpole must be at least 15 feet from the front property line. Flagpoles at Model Homes may exceed 20' and be lighted with permission from Design Review Committee.

x. Pools. Design Review Committee approval is required for the construction or installation of all pools. Pools shall be an integral part of the deck or patio area and/or the rear yard landscaping. Large above-ground pools are prohibited without the express prior written consent of the Design Review Committee. Pools shall be located in the rear or side yard and shall be installed in such a way that they are not Visible From Neighboring Property. Pools shall be

fenced for safety purposes and Owners may be required to install safety features (gate locks or pool covers) when they are not in use. Any building associated with a pool is considered to be a Detached Building.

y. Hot Tubs and Saunas. Design Review Committee approval is required for the installation of any outdoor hot tub, Jacuzzi, sauna or spa. Any hot tub, Jacuzzi, sauna or spa shall be an integral part of the deck or patio area and/or the rear yard landscaping. A hot tub, Jacuzzi, sauna or spa shall be located in the rear or side yard, shall be installed in such a way that it is not Visible From Neighboring Property and shall not create an unreasonable level of noise for adjacent property owners. Owners may be required to install safety features such as locks or covers for these items when such are not in use.

z. Minimum Residence Square Footage. Any Residence constructed upon said Lots in The Grove shall have a minimum square footage of 1400 square feet, unless a variance is granted by the Design Review Committee.

aa. Setback. Each Residence shall be set back a minimum of 5 feet from each side yard property line and 15 feet from any rear property line, unless a variance is granted by the Design Review Committee.

bb. Guttering. Each Residence is required to be guttered in the front of the Residence.

cc. Statues. Design Review Committee approval is not required for the rear yard installation of any statue, which, including a pedestal, stands not more than 4 feet tall. Other accessory features, such as fountains, ponds, reflecting pools or yard ornaments require Design Review Committee approval.

dd. First Floor Exterior Walls Shall be 80% Brick, Stone, Stucco, or Equivalent. The principal first floor material, other than glass, of the exterior shall be not less than eighty percent (80%) brick, stone, stucco, or reasonable equivalent unless a variance is granted by the Design Review Committee in advance of construction. "Craftsman" or "Farmhouse" type homes can, but are not required to, comply with the foregoing 80% brick, stone, stucco, or reasonable equivalent requirement, subject to the approval thereof by the Design Review Committee in advance of its construction.

ee. Solar Panels. Design Review Committee approval is required for the installation of any solar panel.

### **III. Additional Rules and Restrictions Applicable to The Pinehurst Lots.**

For those Lots now or hereinafter designated as The Pinehurst Lots, the following additional rules and restrictions shall apply, notwithstanding any provisions herein to the contrary:

a. Roof Pitch. Roof pitch minimum shall be 8/12 pitch at the front and side of each Residence and the roof pitch minimum for the rear of the Residence shall be 6/12 pitch, unless a variance is granted by the Design Review Committee. This does not apply to rear patios, which do not have a required pitch minimum.



b. Minimum Residence Square Footage. Any Residence constructed upon The Pinehurst Lots shall have a minimum square footage of 1800 square feet, except for Lots 3 through 5 of Block 52 of The Grove Phase XII, Lots 11 through 13 of Block 52 of The Grove Phase XII, Lot 2 of Block 53 of The Grove Phase XII, Lots 9 through 12 of Block 54 of The Grove Phase XII, Lots 1 through 7 of Block 57 of The Grove Phase XIII, Lots 1 through 20 of Block 58 of The Grove Phase XIII and Lots 1 through 12 of Block 59 of The Grove Phase XIII, each of which shall have a minimum square footage of 1500 square feet, unless a variance is granted by the Design Review Committee.

To the extent there is a conflict in the Minimum Rules and Restrictions Applicable to All Lots and the Additional Rules and Restrictions applicable to a particular subcategory of lots, the Additional Rules and Restrictions shall apply.

**IV. Additional Rules and Restrictions Applicable to The Orchard Lots.**

For those Lots now or hereinafter designated as The Orchard Lots, the following additional rules and restrictions shall apply, notwithstanding any provisions herein to the contrary:

a. Roof Pitch. Roof pitch minimum shall be 8/12 pitch.

b. Minimum Residence Square Footage. Any Residence constructed upon The Orchard Lots shall have a minimum square footage of 1800 square feet, unless a variance is granted by the Design Review Committee.

To the extent there is a conflict in the Minimum Rules and Restrictions Applicable to All Lots and the Additional Rules and Restrictions applicable to a particular subcategory of lots, the Additional Rules and Restrictions shall apply.

**V. Additional Rules and Restrictions Applicable to The Old Stone Lots.**

For those Lots now or hereinafter designated as “The Old Stone Lots”, the following additional rules and restrictions shall apply, notwithstanding any provisions herein to the contrary:

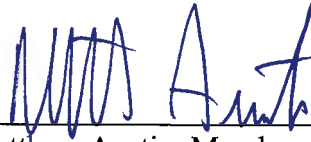
a. Roof Pitch. Roof pitch minimum shall be 10/12 pitch.

b. Minimum Residence Square Footage. Any Residence constructed upon The Old Stone Lots in The Grove shall have a minimum square footage of 2300 square feet unless a variance is granted by the Design Review Committee.

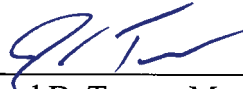
To the extent there is a conflict in the Minimum Rules and Restrictions Applicable to All Lots and the Additional Rules and Restrictions applicable to a particular subcategory of lots, the Additional Rules and Restrictions shall apply.

**PLEASE CONTACT DECLARANT FOR A COPY OF THE CURRENT ARCHITECTURAL AND DESIGN RULES**

IN WITNESS WHEREOF, the undersigned, being all of the members of the Design Review Committee of The Grove Addition hereby certify that, pursuant to Article VIII of the Amended and Restated Declaration, the Design Review Committee hereby consents and adopts the above and foregoing Second Amended and Fully Restated Architectural and Design Rules effective as of the 26th day of August, 2019.



Matthew Austin, Member



Jarod D. Tarver, Member



Trevor Brownen, Member

**EXHIBIT 1 TO ARCHITECTURAL AND DESIGN RULES  
OWNER APPLICATION FOR DESIGN COMMITTEE REVIEW**

Date: \_\_\_\_\_  
Owner's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Type of Improvement: \_\_\_\_\_  
Lot Number: \_\_\_\_\_

If an agent is submitting on behalf of the owner, also complete the following:

Agent's Name: \_\_\_\_\_  
Business Name: \_\_\_\_\_  
Telephone: \_\_\_\_\_

In accordance with the Amended and Restated Declaration for The Grove Addition, as amended, and the Architectural and Design Rules, as amended, application is hereby made for review and approval of the following described improvements: (Provide brief description.)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

In support of this application the following required items are to be submitted in duplicate:

1. Plans and Specifications: The plans will show the following (where applicable): site plan, floor plan, elevations, roof plan, landscaping plan and such other items as may be needed to reflect the character and dimensions of the improvements.
2. Roof Letter (See Rule (e) of the Architectural and Design Rules)
3. Landscape Plan, if not reflected on Plans and Specifications (See attached page)
4. Any written statements or other submissions that may be required.

It is hereby understood and agreed that approval of this application by a reviewer does not constitute approval as to compliance with applicable Oklahoma law or City of Oklahoma City ordinances.

Signature of Owner(s) \_\_\_\_\_ Date \_\_\_\_\_  
Signature of Agent \_\_\_\_\_ Date \_\_\_\_\_

Submit applications to: The Grove Addition  
Design Review Committee  
c/o Caliber Development Company LLC  
14301 Caliber Drive, Suite 300  
Oklahoma City, OK 73134

If the application is incomplete, the reviewer will notify the applicant as to the needed documents and the application will not be further considered until receipt of all materials. Any time period required for reviewer approval or rejection shall not begin to run until all materials requested by the Committee are submitted in duplicate.

Date Received: \_\_\_\_\_ Reviewer: \_\_\_\_\_ Action taken: \_\_\_\_\_  
Date Received: \_\_\_\_\_ Reviewer: \_\_\_\_\_ Action taken: \_\_\_\_\_  
Date Received: \_\_\_\_\_ Reviewer: \_\_\_\_\_ Action taken: \_\_\_\_\_

**EXHIBIT 2 TO ARCHITECTURAL AND DESIGN RULES  
LANDSCAPE PLAN SUBMITTAL CHECKLIST**

1. Format to be 24 inch x 36 inch sheet size.
2. Site plan with property boundary, footprints of permanent structures and locations and identifications of every hardwood tree with a diameter of eight inches or more at a height of 3 feet above grade.
3. Contour lines as needed to illustrate grade conditions.
4. Project location and owner's name.
5. North arrow, drawing scale, sheet number and date.
6. Boundaries of protected areas and method of protection.
7. Planting plan showing locations of proposed and existing plants. Plants should be drawn at a mature size.
8. Plant list with names of plants, sizes and quantities.
9. Hard surface plan and layout dimensions noting materials to be used.
10. Irrigation plan.
11. Construction details for all structural elements, i.e., retaining walls over 2 feet to 6 feet pools, decks, etc.
12. Submit 2 copies of the package.

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